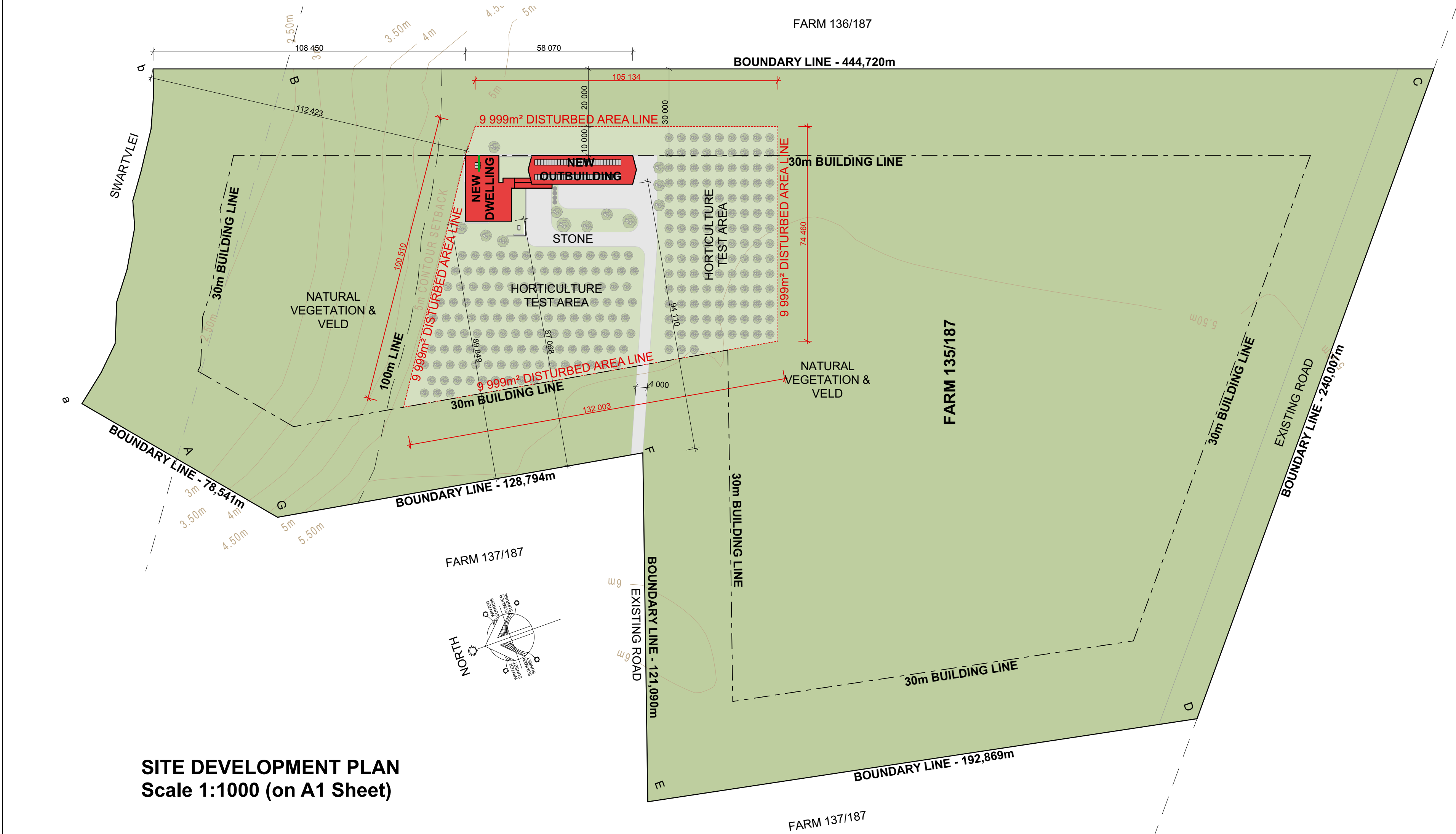
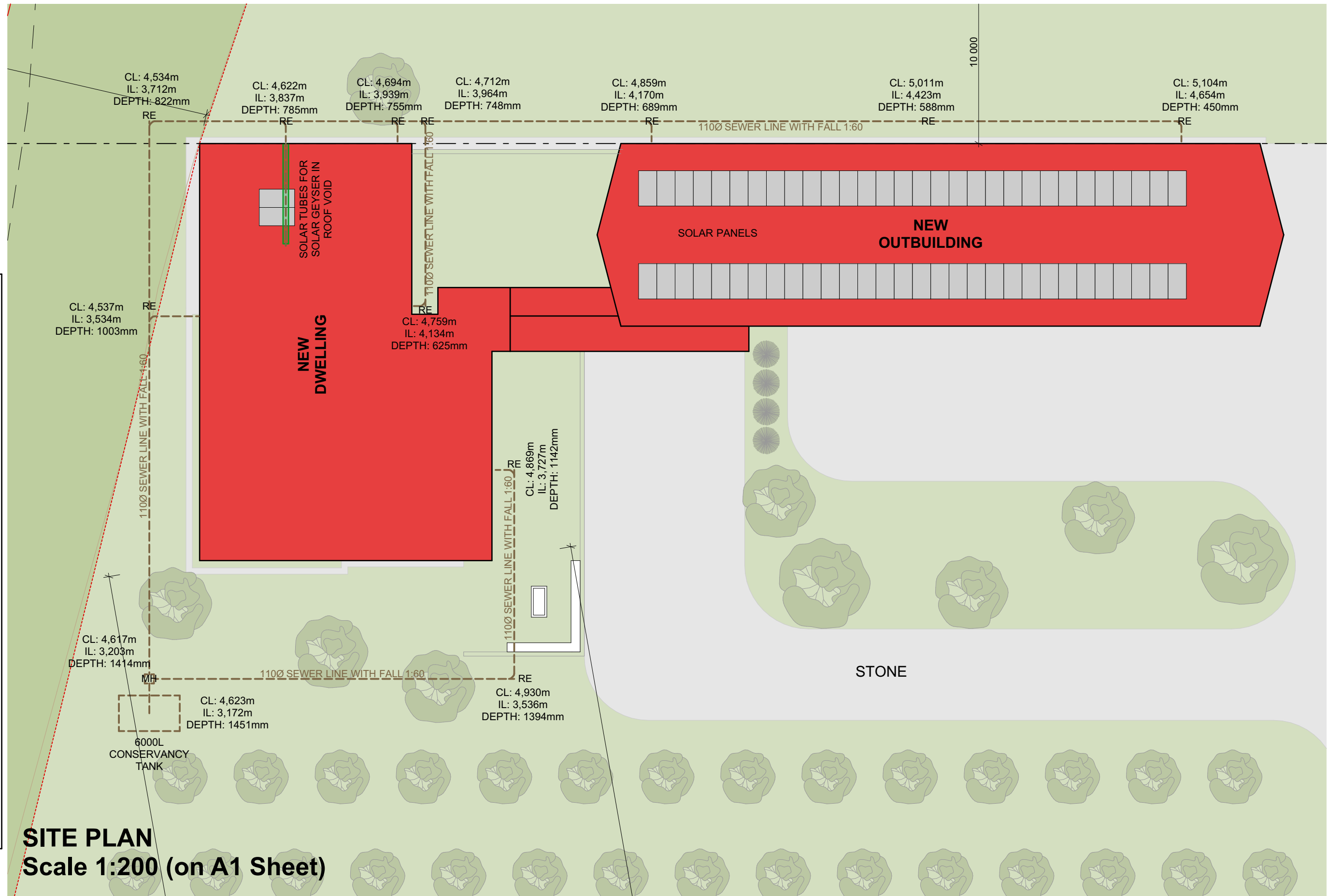


OFFICIAL USE	
MAIN DWELLING AREA:	
12,68	COVERED PATIO
21,40	COVERED ENTRANCE
76,86	COVERED BRAAI
252,38	MAIN HOUSE
363,32 m²	
OUTBUILDING:	
27,21	GROUND FLOOR
322,79	GROUND FLOOR AREA
13,58	FIRST FLOOR
21,47	FIRST FLOOR POTTERY EQUIPMENT
67,35	FIRST FLOOR WATER SPORT EQUIPMENT STORE
452,40 m²	
815,72m²	TOTAL AREA
80999m²	ERF AREA
0,88% COVERAGE (713,32m²)	



COPYRIGHT NOTICE "M SMITH ARCHITECTURAL GROUP (Pty)Ltd"
Copyright © 2026 M SMITH ARCHITECTURAL GROUP (Pty)Ltd

Copyright subsists in this drawing. The person or entity whose name appears in the title block of this drawing, is hereby granted a non-exclusive licence to use, display, print and / or reproduce this drawing to the extent necessary to carry out and complete the project described in the title block of this drawing.

This licence in respect of the copyright is expressly limited as aforesaid and the person and / or entity referred to above shall not be entitled to grant sub-licences in respect of the copyright in this drawing to any other entity.

This licence confers no ownership rights in the copyright vesting in the drawing and this drawing and the copyright subsisting therein will, at all times, remain the property of M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

Any unauthorised reproduction, publication, transmission, adaptation and/or inclusion of this drawing in a cinematograph film or television broadcast is an act of copyright infringement which will render the doer of the act liable for civil law copyright infringement and may in certain circumstances render the doer liable to criminal prosecution.

Requests and enquiries concerning this drawing and the rights subsisting therein should be addressed to the copyright owner.

SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).

Drainage installation to comply with SANS 10400 Part P.

Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).

Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

NOTES:
ALL MATERIALS USED MUST COMPLY TO SABS SPECIFICATIONS.
ALL BUILDING WORK, SEWERAGE & ELECTRICAL WORK MUST COMPLY TO SABS BUILDING REGULATIONS.
AT NO TIME MUST BE SCALED FROM ANY DRAWINGS. USE ONLY DIMENSIONS GIVEN. CONTRACTOR MUST BRING ALL DISCREPANCIES UNDER THE ATTENTION OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.
NO CHANGES MAY BE MADE TO THE BUILDING (ADDING ON OR LEAVING OUT) WITHOUT THE WRITTEN APPROVAL OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

REVISIONS			
No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

MSMITH
ARCHITECTURAL GROUP
PASSION TO CREATE

[Signature]
UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

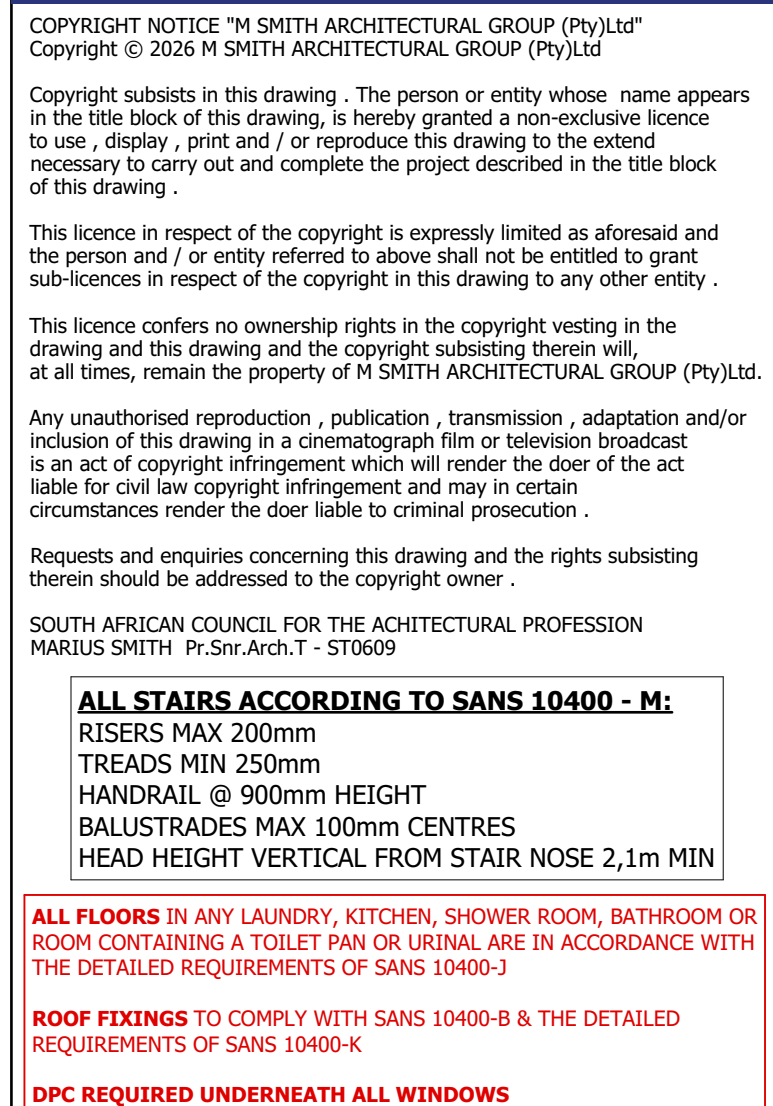
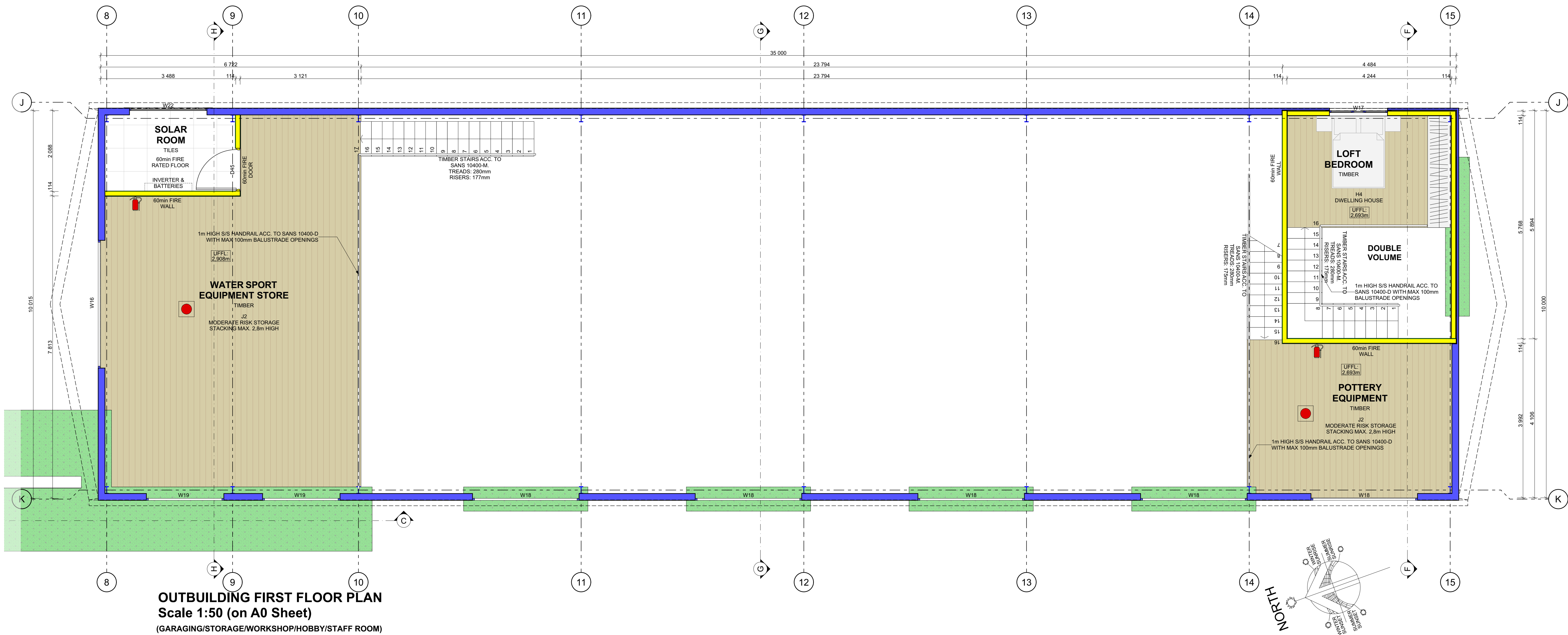
PROJECT
**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

SITE DEVELOPMENT PLAN, SITE PLAN

SCALE	PROJECT NUMBER	
1:1000, 1:200	2508-01	
DRAWING NUMBER	REVISION	
M001	2	
DATE PRINT ISSUED:	DRAWN	CHECKED
2026/03/05	H DU PREEZ	

APPROVED BY CLIENT
SIGNATURE: *[Signature]*

APPROVED
BY CLIENT



Carport / Open Patio (if any)to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).

Drainage installation to comply with SANS 10400 Part P.

Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).

Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

NOTES:
ALL MATERIALS USED MUST COMPLY TO SABS SPECIFICATIONS.
ALL BUILDING WORK, SEWERAGE & ELECTRICAL WORK MUST COMPLY
TO SABS BUILDING REGULATIONS.

AT NO TIME MUST BE SCALED FROM ANY DRAWINGS, USE ONLY
DIMENSIONS GIVEN. CONTRACTOR MUST BRING ALL DISCREPANCIES
UNDER THE ATTENTION OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd

NO CHANGES MAY BE MADE TO THE BUILDING (ADDING ON OR LEAVING OUT) WITHOUT THE WRITTEN APPROVAL OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

[illegible]

M Smith Architectural Group (Pty) Ltd 2023/768767/07 SACAP REG. NO.: ST0610

MSMITH
ARCHITECTURAL GROUP
PASSION TO CREATE
UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT.
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI

**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

GARAGE & HOBBY STUDIO FLOOR PLANS

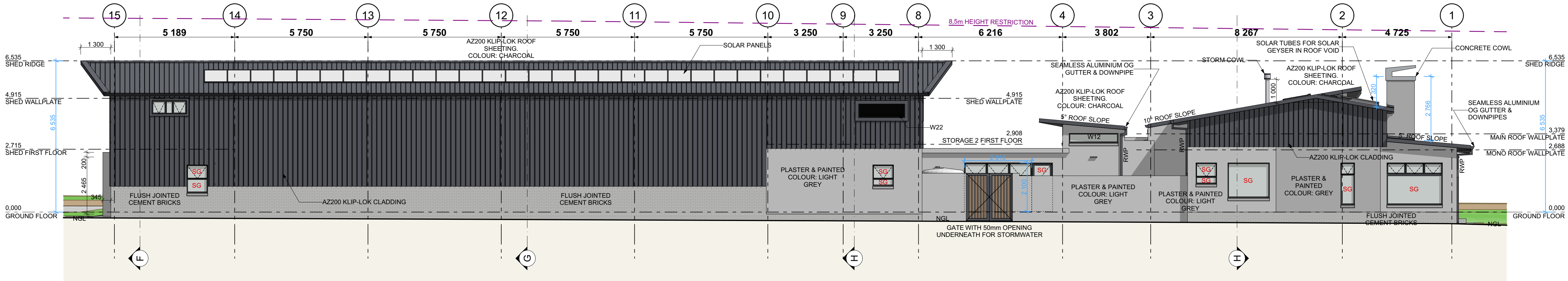
SCALE	PROJECT NUMBER	
1:50, 1:20, 1:10	2508-01	
DRAWING NUMBER	REVISION	
M003	2	
DATE PRINT ISSUED:	DRAWN	CHECKED
2026/03/05	H DU PREEZ	

APPROVED
BY CLIENT

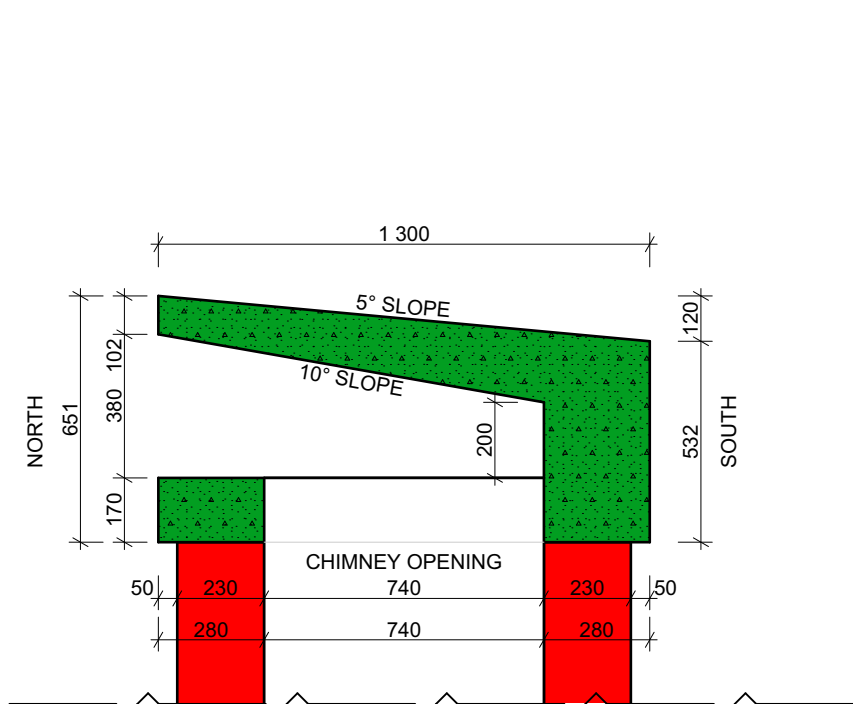
SIGNATURE: 

OFFICIAL USE

NORTH ELEVATION
Scale 1:100 (on A1 Sheet)

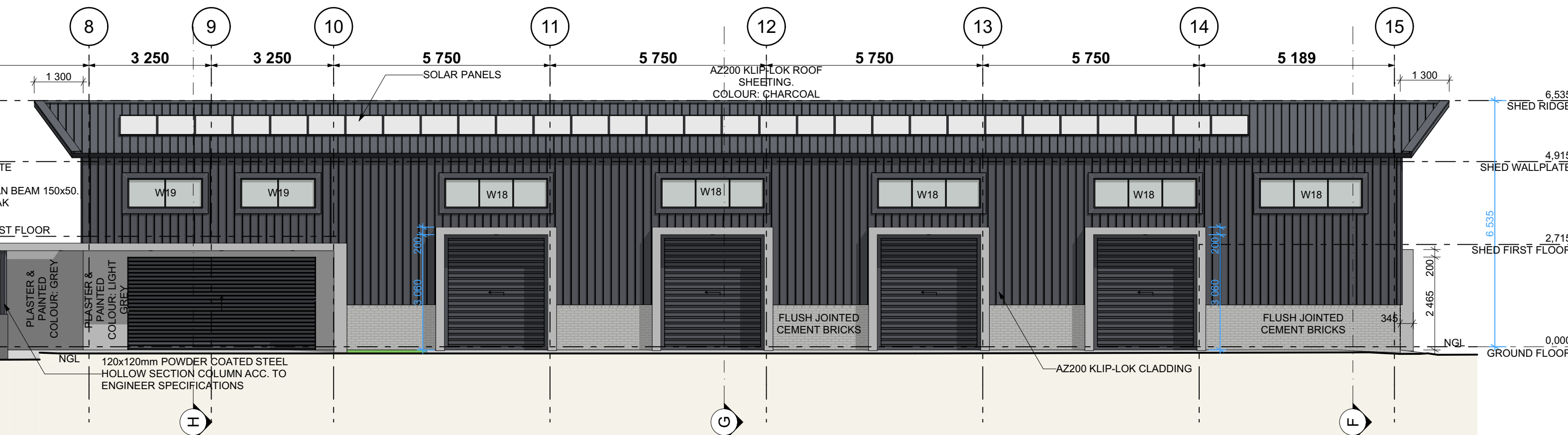


EAST ELEVATION
Scale 1:100 (on A1 Sheet)



BRAAI COWL DETAIL
Scale 1:20 (on A1 Sheet)

SOUTH ELEVATION
Scale 1:100 (on A1 Sheet)



WEST ELEVATION
Scale 1:100 (on A1 Sheet)

COPYRIGHT NOTICE "M SMITH ARCHITECTURAL GROUP (Pty)Ltd"
Copyright © 2026 M SMITH ARCHITECTURAL GROUP (Pty)Ltd

Copyright subsists in this drawing. The person or entity whose name appears in the title block of this drawing, is hereby granted a non-exclusive licence to use, display, print and/or reproduce this drawing to the extent necessary to carry out and complete the project described in the title block of this drawing.

This licence in respect of the copyright is expressly limited as aforesaid and the person and/or entity referred to above shall not be entitled to grant sub-licences in respect of the copyright in this drawing to any other entity.

This licence confers no ownership rights in the copyright vesting in the drawing and this drawing and the copyright subsisting therein will, at all times, remain the property of M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

Any unauthorised reproduction, publication, transmission, adaptation and/or inclusion of this drawing in a cinematograph film or television broadcast is an act of copyright infringement which will render the doer of the act liable for civil law copyright infringement and may in certain circumstances render the doer liable to criminal prosecution.

Requests and enquiries concerning this drawing and the rights subsisting therein should be addressed to the copyright owner.

SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).

Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

NOTES:
ALL MATERIALS USED MUST COMPLY TO SABS SPECIFICATIONS.
ALL BUILDING WORK, SEWERAGE & ELECTRICAL WORK MUST COMPLY TO SABS BUILDING REGULATIONS.
AT NO TIME MUST BE SCALED FROM ANY DRAWINGS. USE ONLY DIMENSIONS GIVEN. CONTRACTOR MUST BRING ALL DISCREPANCIES UNDER THE ATTENTION OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.
NO CHANGES MAY BE MADE TO THE BUILDING (ADDING ON OR LEAVING OUT) WITHOUT THE WRITTEN APPROVAL OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

REVISIONS			
No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

MSMITH
ARCHITECTURAL GROUP
PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

ELEVATIONS, BRAAI COWL DETAIL

SCALE	PROJECT NUMBER	
1:100, 1:20	2508-01	
DRAWING NUMBER	REVISION	
M004	2	
DATE PRINT ISSUED:	DRAWN	CHECKED
2026/03/05	H DU PREEZ	

APPROVED BY CLIENT
SIGNATURE: