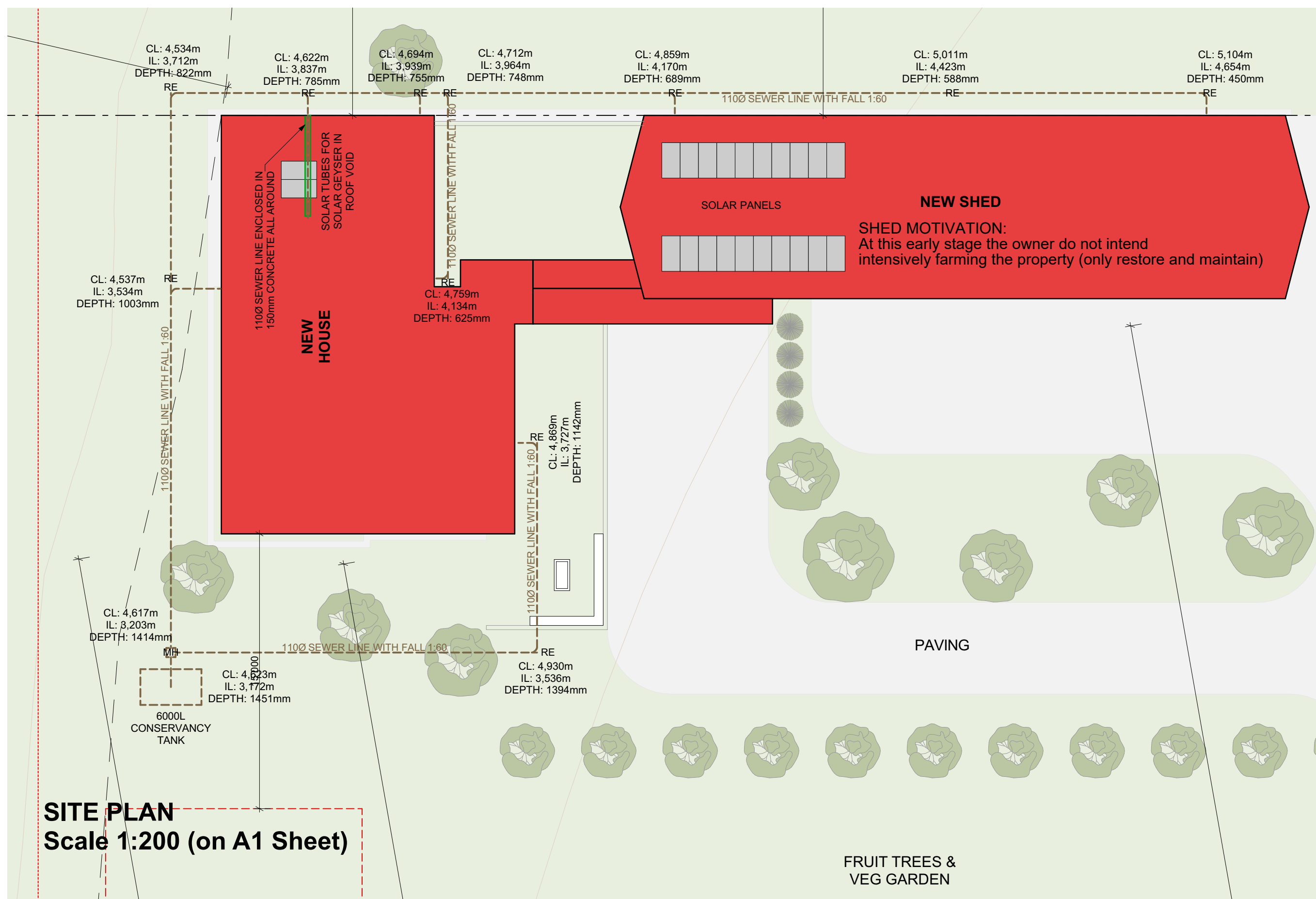


MAIN HOUSE AREA SCHEDULE:	
12,68	COVERED PATIO
21,40	COVERED ENTRANCE
76,86	COVERED BRAAI
252,38	MAIN HOUSE
363,32 m²	
AGRICULTURAL WORKER SCHEDULE:	
27,21	GROUND FLOOR
13,58	FIRST FLOOR
40,79 m²	
SHED AREA SCHEDULE:	
322,79	GROUND FLOOR AREA
21,47	FIRST FLOOR STORAGE 1
67,35	FIRST FLOOR STORAGE 2
411,61 m²	
815,72m²	TOTAL AREA
80999m²	ERF AREA
0,88% COVERAGE (713,32m²)	



OWNER + BUILDING CONTRACTORS AND SUB-CONTRACTORS TO COMPLY WITH THE FOLLOWING REQUIREMENTS OF SANS 10400-1 / SANS 10400-XA:

A. Structural: The Structural system of the building: Part H + Part J + Part K + Part L + Part M + Part N + Part O as well as a competent person (structures) to design and inspect the structures.

D. Public Safety: A change in level, the construction of ramps and driveways; or access to swimming pools with related requirements in accordance with the requirements of SANS 10400-1.

F. Site Operations: The provision of sanitary facilities is in accordance with the detailed requirements of SANS 10400-F.

G. Excavations: The excavations must be less than 3 meters deep and is in accordance with the detailed requirements of SANS 10400-G.

H. Foundations: New structures will necessitate geotechnical investigations with the applicable rules. The foundations for the building are in accordance with SANS 10400-B and detailed requirements of SANS 10400-D.

The foundations to the extension / addition to an existing building are the same as the existing foundations, which have performed satisfactory. Should any soil improvements be required - a competent person (civil engineering / geotechnical) are to be appointed.

J. Floors: Floors in any Laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J (waterproofing or applicable areas).

K. Walls: The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-K and SANS 10400-L or detailed requirements of SANS 10400-K. The roof fixing to the wall is in accordance with the detailed requirements of SANS 10400-B or detailed requirements of SANS 10400-L.

L. Roofs: The water penetration through a wall is in accordance with the detailed requirements of SANS 10400-K, L, Roofs: Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L. Flat roofs or related gutters are in accordance with the detailed requirements of SANS 10400-L, and or subject of a rational design or rational assessment. The roof assembly and any ceiling assembly - in addition to complying with the requirements of SANS 10400-C are in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K and or in accordance with SANS 10400-B and SANS 10400-L. Gutters and downpipes are sized in accordance with the requirements of SANS 10400-R. The fire resistance and combustibility of the roof assembly or ceiling are in accordance with the detailed requirements of SANS 10400-L and or SANS 10400-T.

M. Stairways: Stairways are in accordance with SANS 10400-B and SANS 10400-L and or the detailed requirements of SANS 10400-M. Walls, screens, railings or balustrades to such stairways are in accordance with requirements of SANS 10400-B and SANS 10400-T, SANS 10400-K and SANS 10400-L.

N. Glazing: The use of fixing of glazing is in accordance with SANS 10400-F / the detailed requirements of SANS 10400-N.

O. Lighting and Ventilation: The lighting and ventilation in a habitable room, bathroom, shower room and toilet pan, toilet pan complies with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-G.

P. Sewer Drainage: The construction of the drainage system is in accordance with the detailed requirements of SANS 10400-P.

Q. Non-water borne means of sanitary disposal: The means of sewerage disposal where water-borne sewerage disposal is not available is in accordance with the detailed requirements of SANS 10400-Q.

R. Storm water Disposal: The means for the control and disposal of storm water is in accordance with the detailed requirements of SANS 10400-R.

S. Persons with Disabilities: The means of providing facilities for persons with disabilities is in accordance with the detailed requirements of SANS 10400-S.

T. Fire protection: The fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T.

V. Space heating: The provision for space heating is in accordance with the detailed requirements of SANS 10400-V.

W. Fire installation: The fire installations and supply of water comply with the detailed requirements of SANS 10400-W.

Contractor to take responsibility that all details and reports of SANS 10400-XA and it will be adhered to.

Main Contractor to comply with above requirements of SANS 10400-1 / SANS 10400-XA (See attached Part of SANS 10400-XA)

OWNER'S SIGNATURE: _____ DATE: _____

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MARILYN SMITH Pr.Senior Archt. S - UT6069

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN



Carport / Open Patio (if any) to remain open as per building plan.
Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
Drainage installation to comply with SANS 10400 Part P.
Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).
Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

NOTES:

ALL MATERIALS USED MUST COMPLY TO SABS SPECIFICATIONS.

ALL BUILDING WORK, SEWERAGE & ELECTRICAL WORK MUST COMPLY TO SABS BUILDING REGULATIONS.

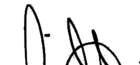
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PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EX
GEORGE
GARDEN ROUTE

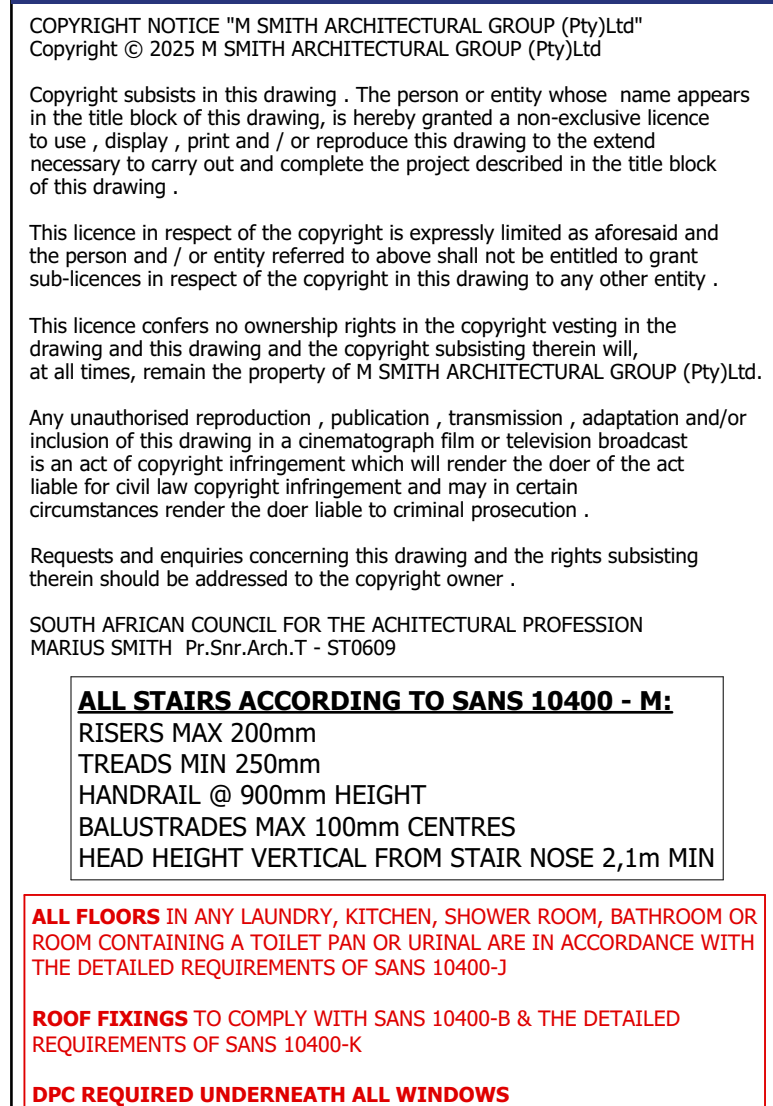
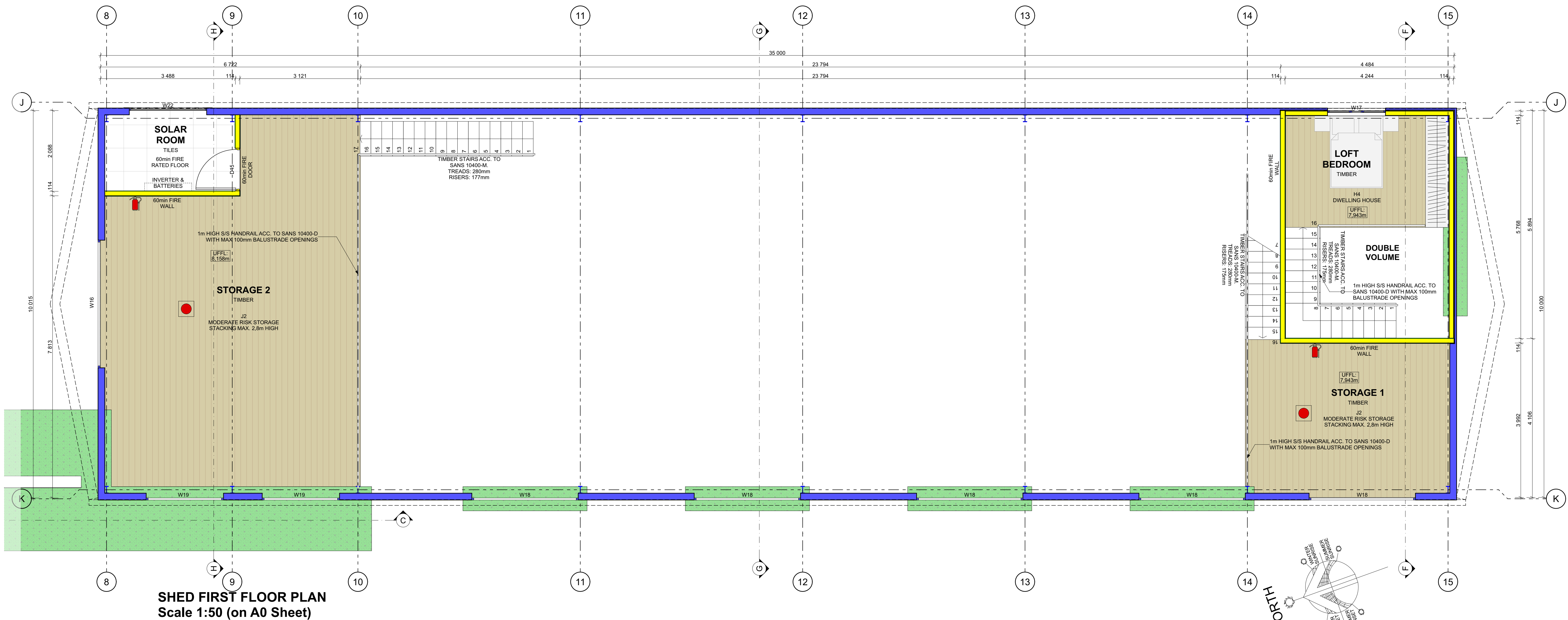


H4: DWELLING HOUSE
7010110 - 171

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za



PROJECT	
NEW HOUSE FOR SCARAB VILLAGE PTY (LTD) ON ERF FARM 135/187 RONDE VALLEY KNYSNA	
SITE DEVELOPMENT PLAN, SITE PLAN	
SCALE	PROJECT NUMBER
1:1000, 1:200	2508-01
DRAWING NUMBER	REVISION
M001	0
DATE PRINT ISSUED:	DRAWN
2025/10/27	H DU PREEZ
	CHECKED



REVISIONS			
No.	Date	Name	Description
-	-	-	

M Smith Architectural Group (Pty) Ltd 2023/768767/07 SACAP REG. NO.: ST0619

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UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT.
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: A71

**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA
SHED GROUND FLOOR PLAN,
SHED FIRST FLOOR PLAN, FIRE
LEGEND. SIGNAGE**

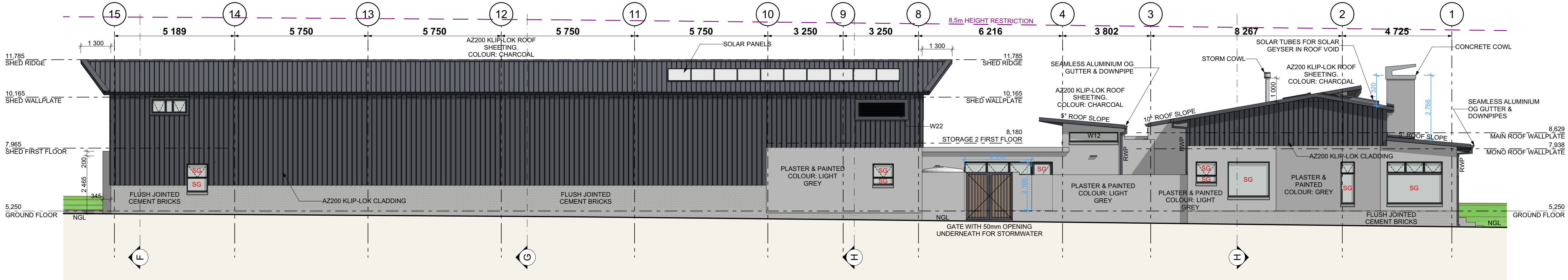
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DRAWING NUMBER		REVISION	
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DATE PRINT ISSUED:		DRAWN	CHECKED
2025/10/27		H DU PREEZ	

APPROVED BY CLIENT

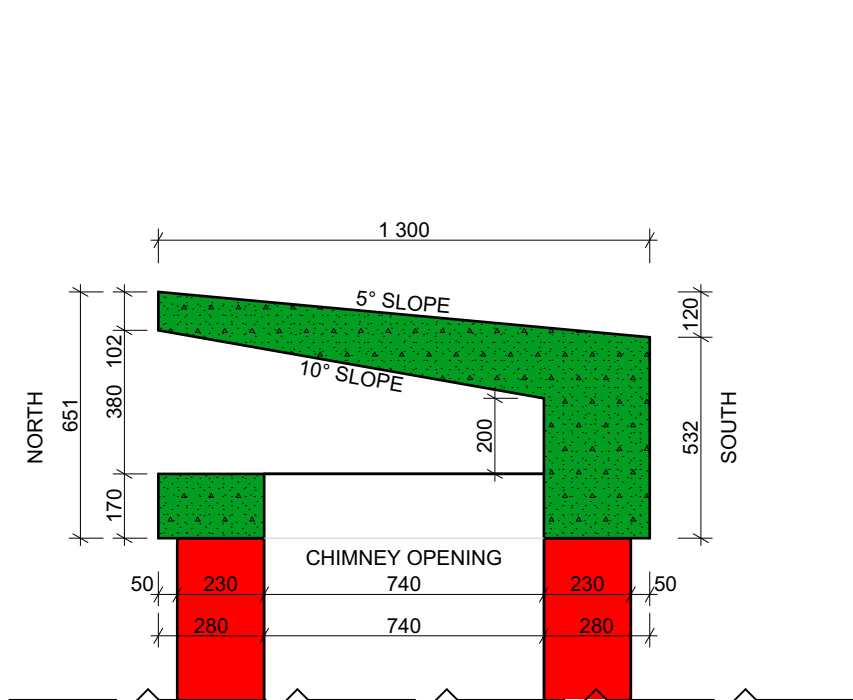
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NORTH ELEVATION
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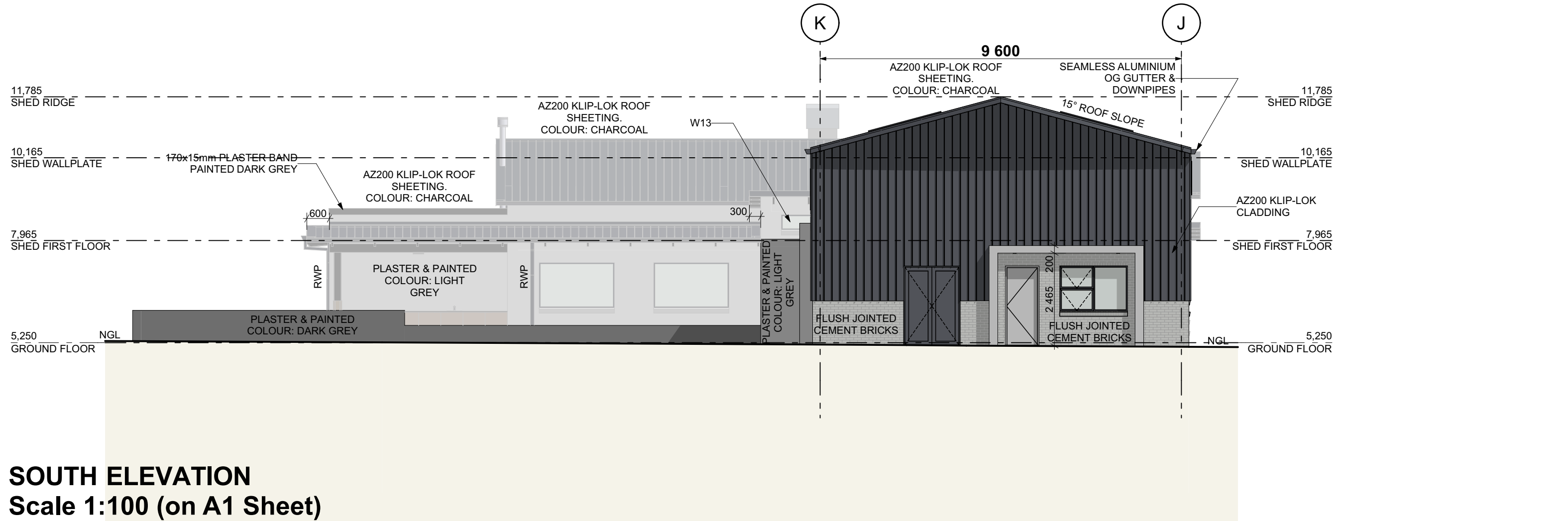


EAST ELEVATION
Scale 1:100 (on A1 Sheet)

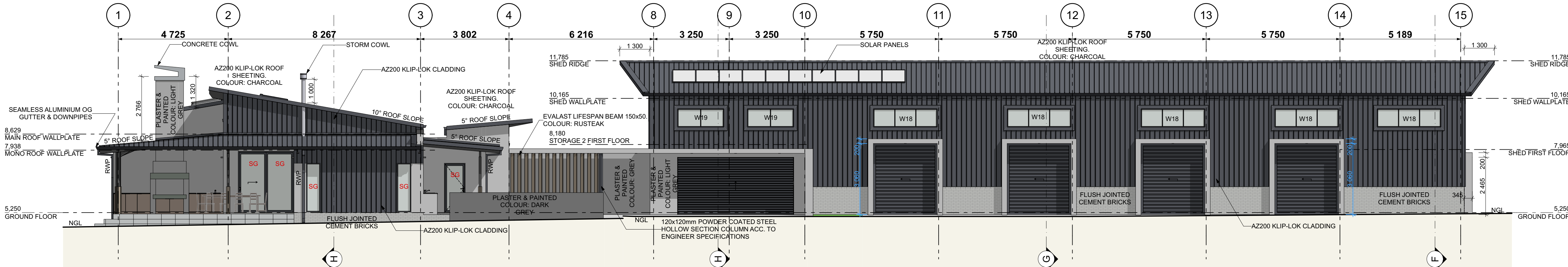


BRAAI COWL DETAIL
Scale 1:20 (on A1 Sheet)

SOUTH ELEVATION
Scale 1:100 (on A1 Sheet)



WEST ELEVATION
Scale 1:100 (on A1 Sheet)



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MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:

RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS



SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

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NOTES:
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REVISIONS

No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

MSMITH
ARCHITECTURAL GROUP
PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI
Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

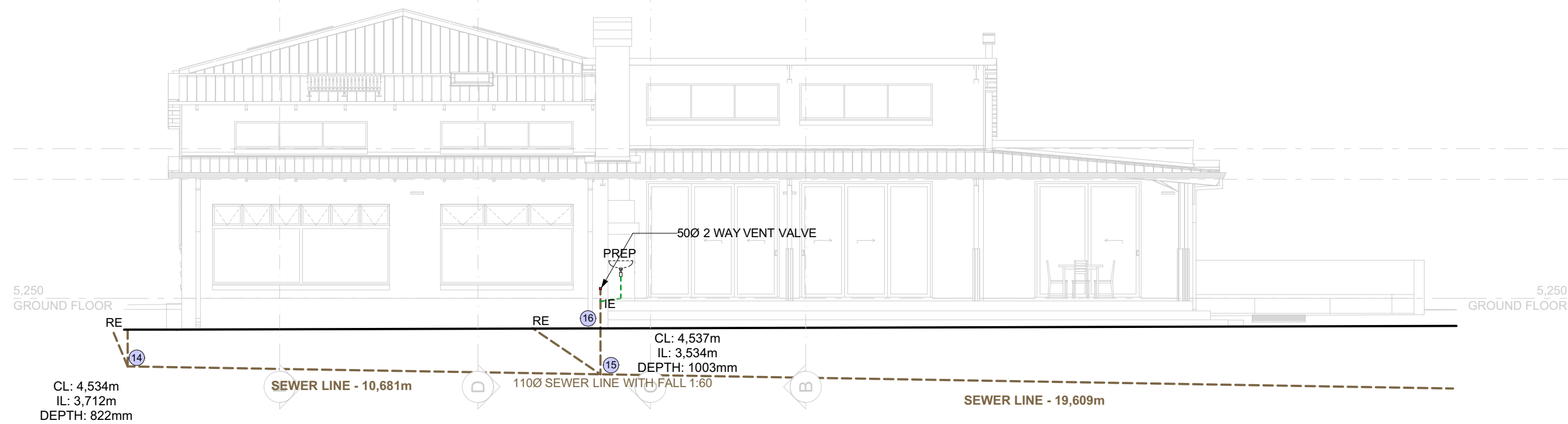
PROJECT
**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

ELEVATIONS, BRAAI COWL DETAIL

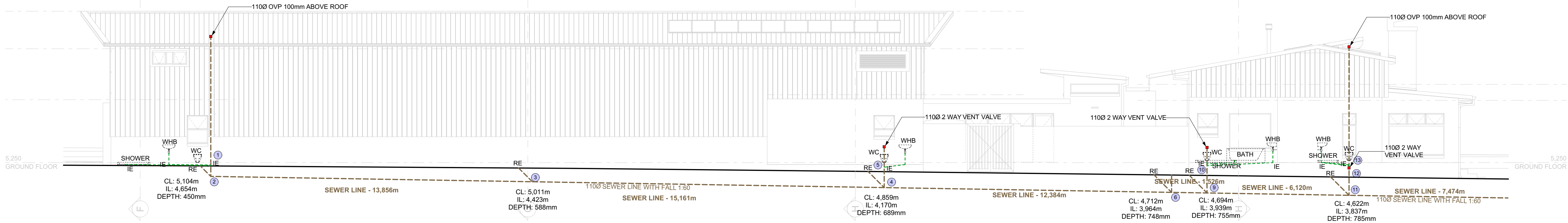
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DRAWING NUMBER	REVISION	
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DATE PRINT ISSUED:	DRAWN	CHECKED
2025/10/27	H DU PREEZ	

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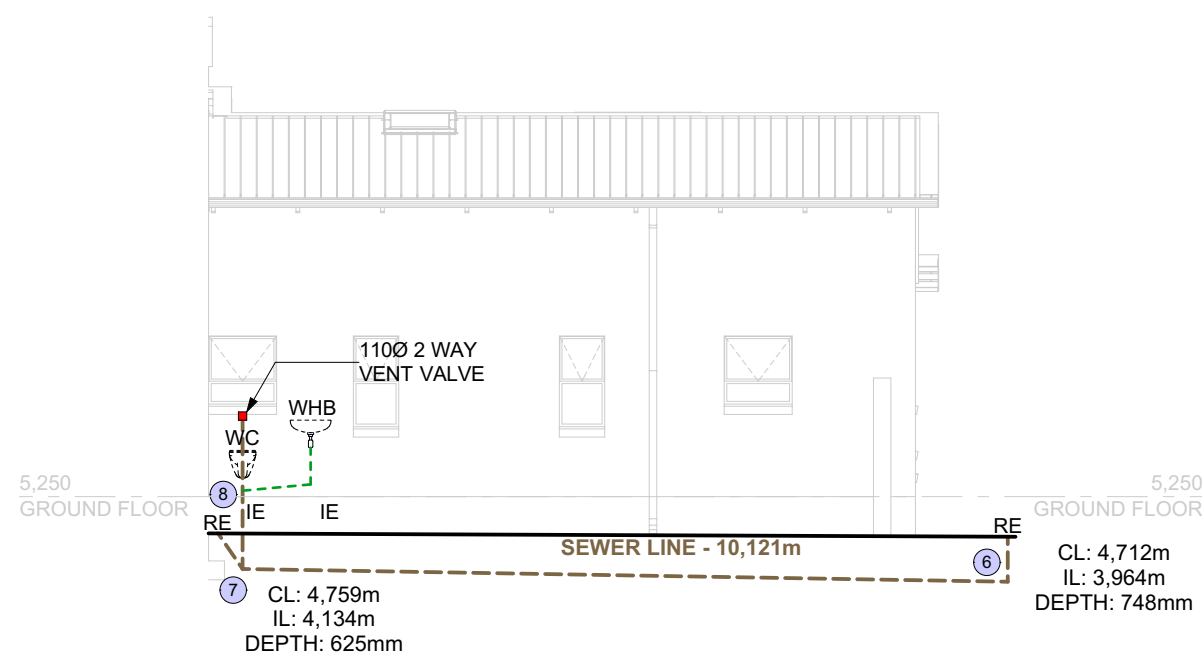
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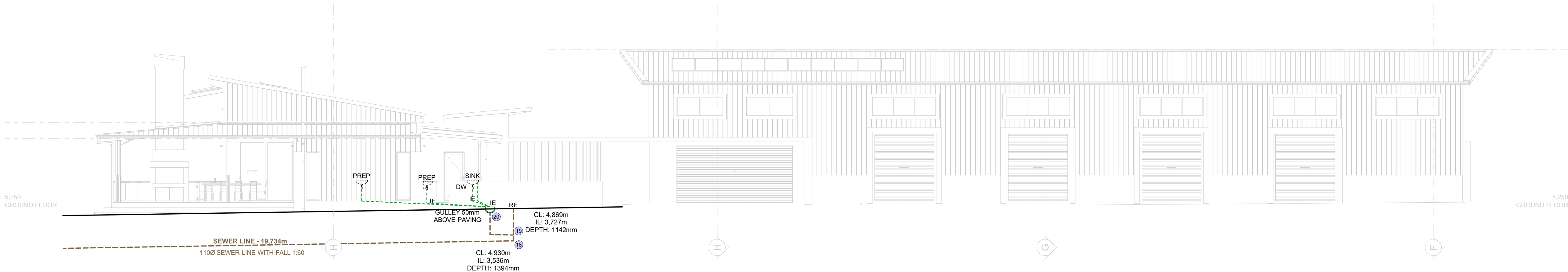
NORTH DRAINAGE SECTION
Scale 1:100 (on A1 Sheet)



EAST DRAINAGE SECTION
Scale 1:100 (on A1 Sheet)



SOUTH DRAINAGE SECTION
Scale 1:100 (on A1 Sheet)



WEST DRAINAGE SECTION
Scale 1:100 (on A1 Sheet)

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RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

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ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS



SCAN TO SEE VIDEO
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REVISIONS

No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

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1st STREET EASTERN EXT.
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI

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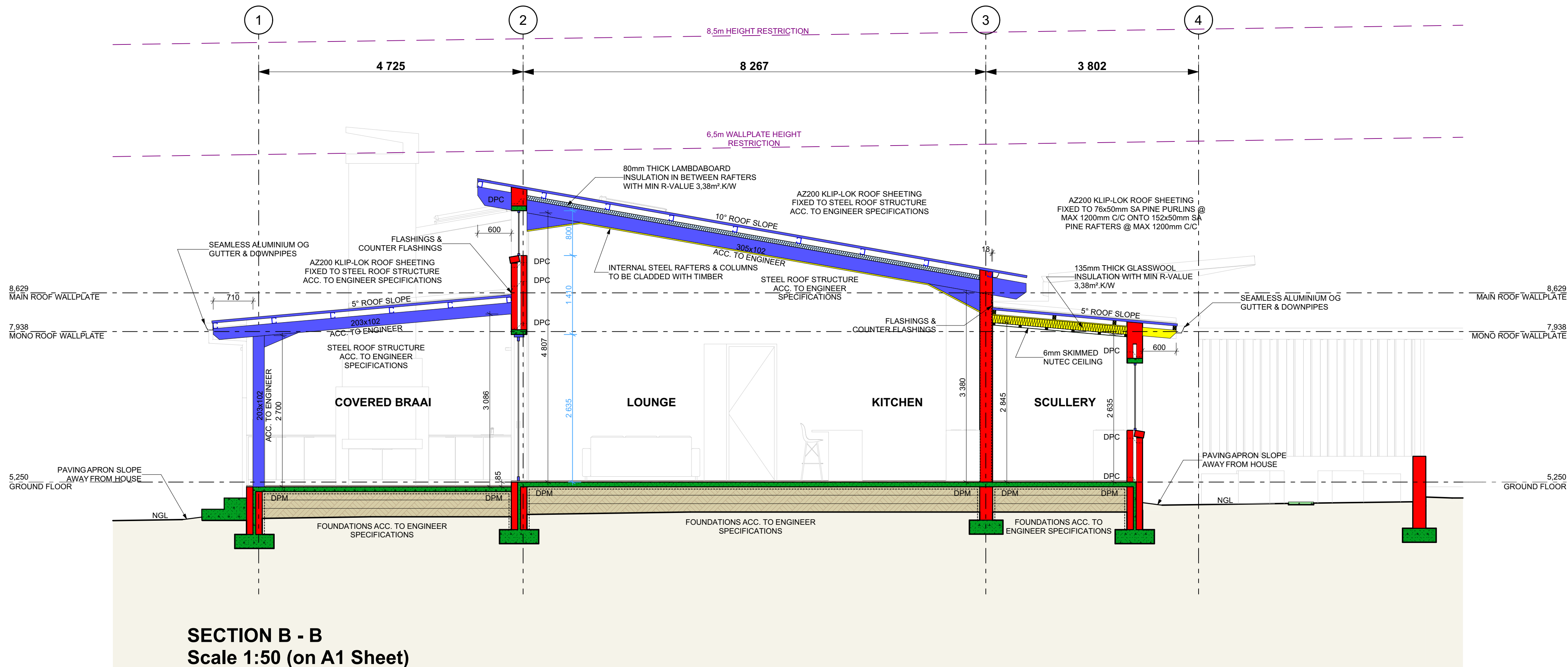
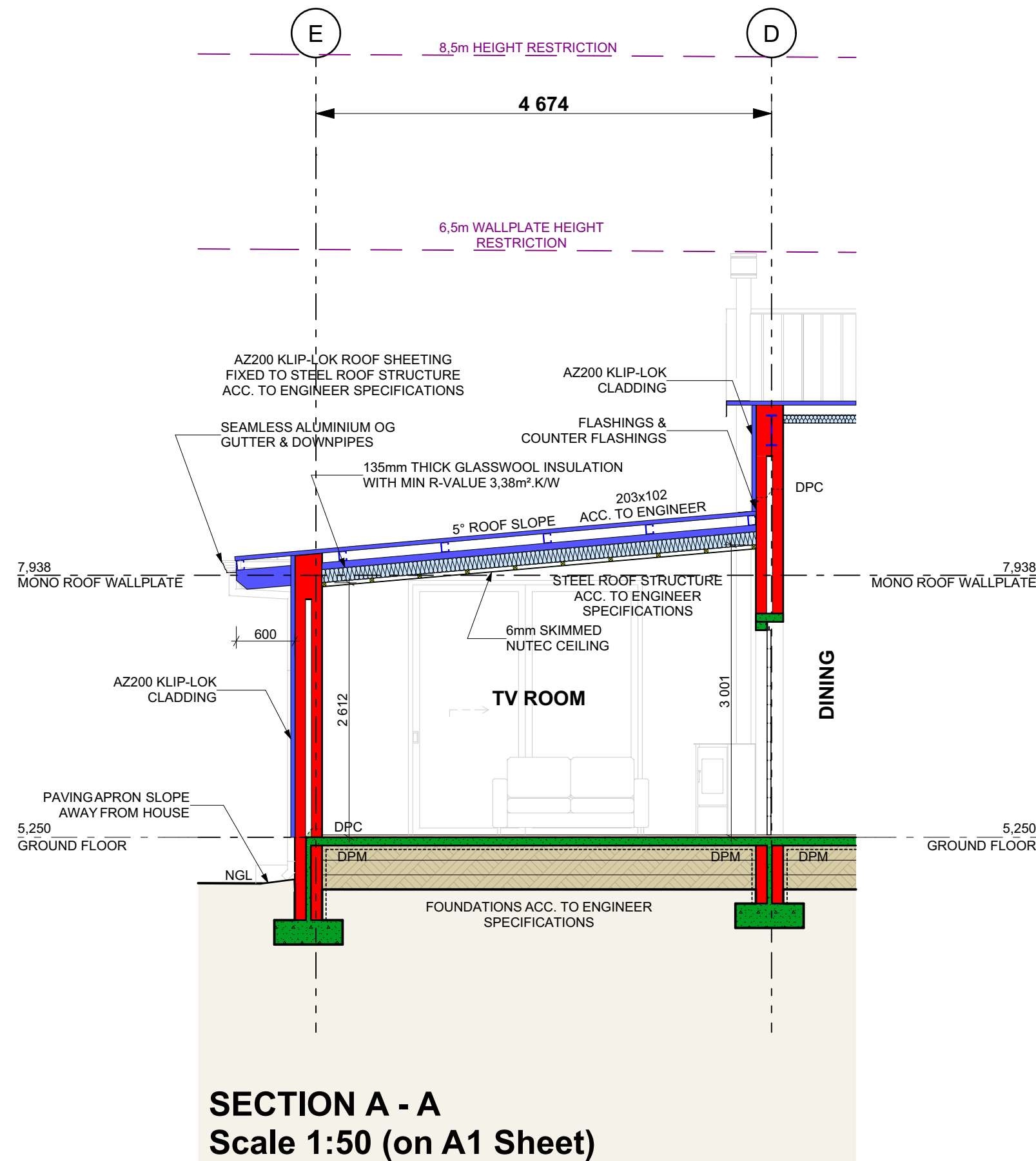
PROJECT
**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

DRAINAGE SECTIONS

SCALE 1:100	PROJECT NUMBER 2508-01
DRAWING NUMBER M005	REVISION 0
DATE PRINT ISSUED: 2025/10/27	DRAWN H DU PREEZ
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ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS



SCAN TO SEE VIDEO
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Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

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REVISIONS

No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

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UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT
GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

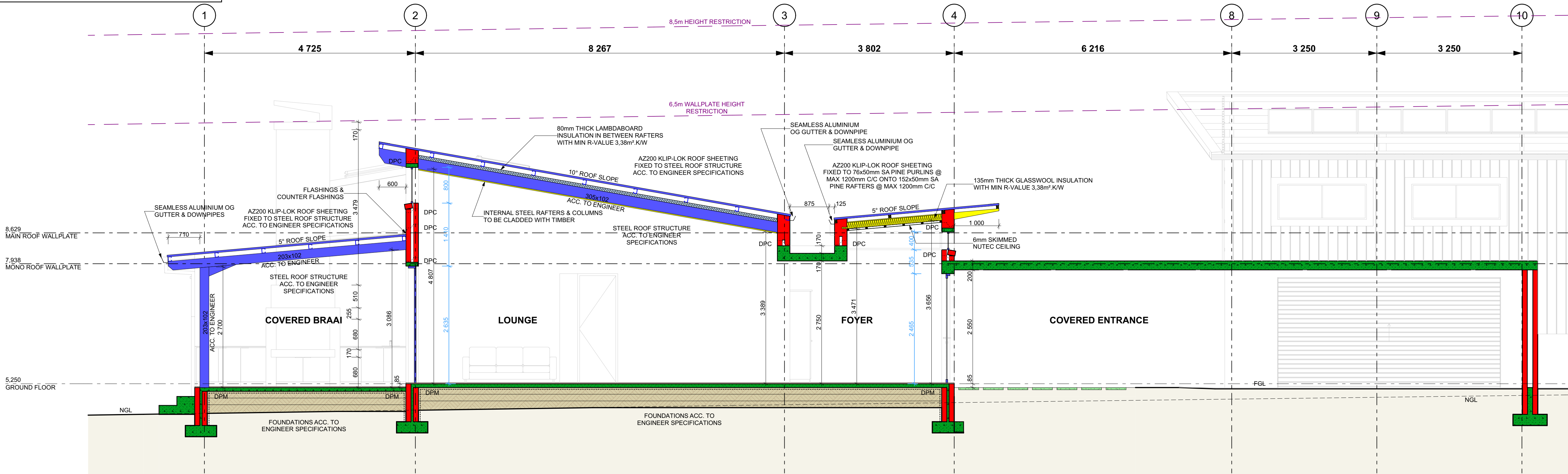
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2025/10/27		H DU PREEZ	

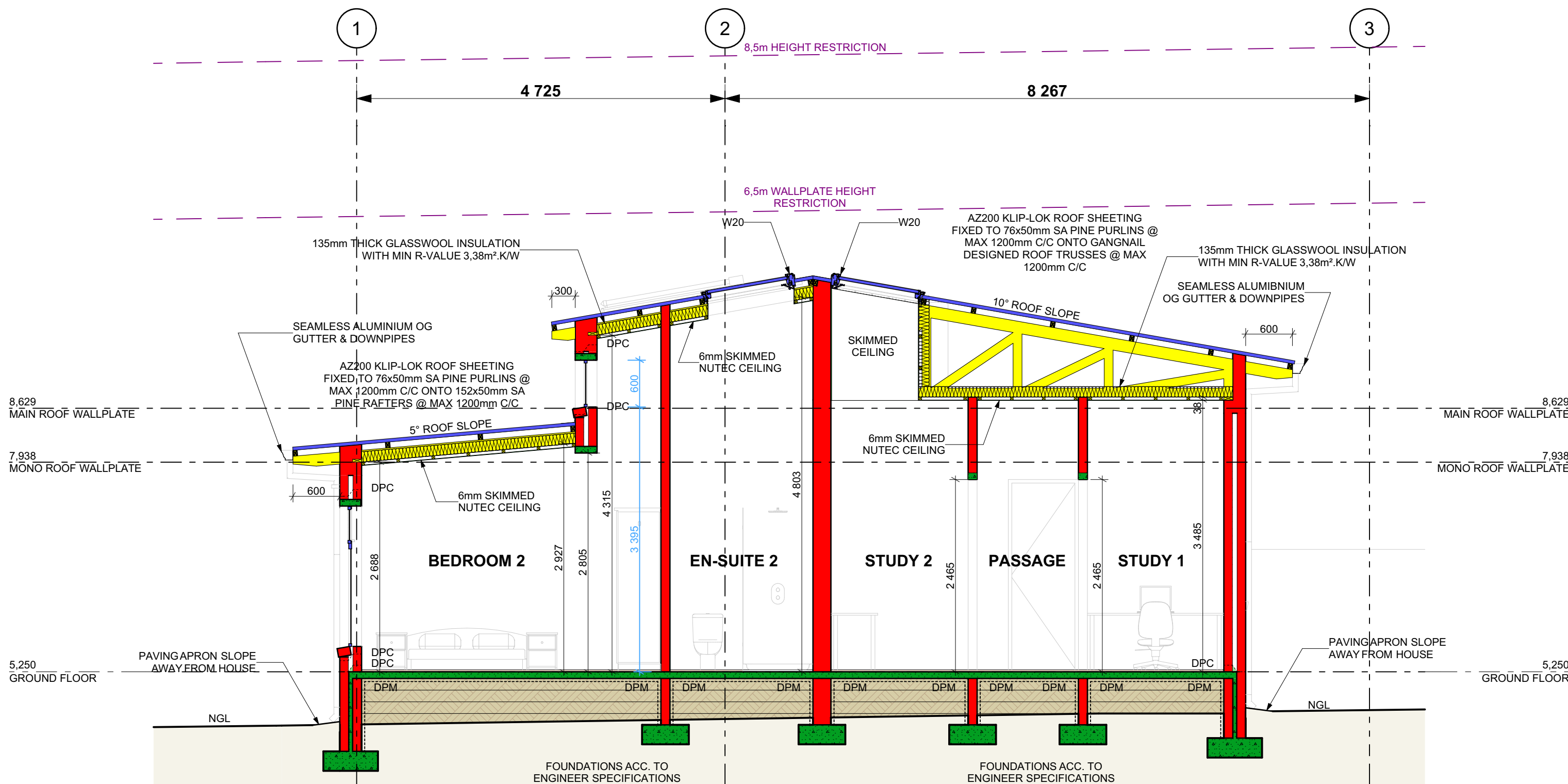
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SECTION D - D
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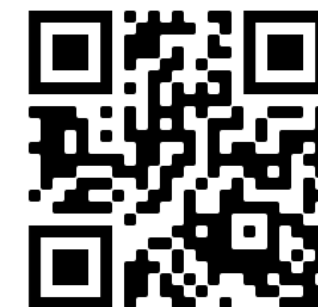
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MARIUS SMITH Pr.Snr.Arch.T - ST0609

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HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

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ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS



SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

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REVISIONS

No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

MSMITH
ARCHITECTURAL GROUP
PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT
GEORGE GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: AZI

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
**NEW HOUSE FOR
SCARAB VILLAGE PTY (LTD)
ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

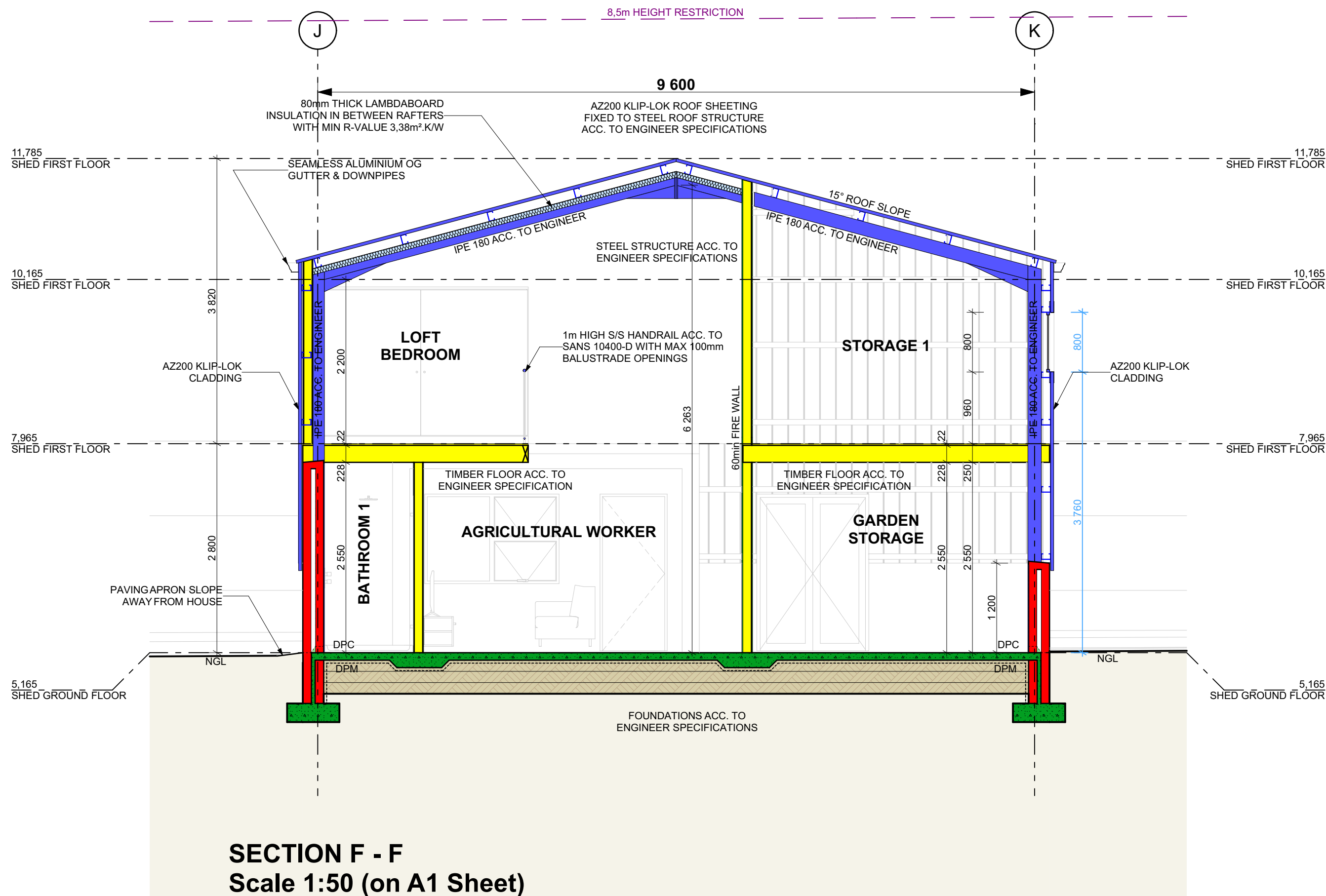
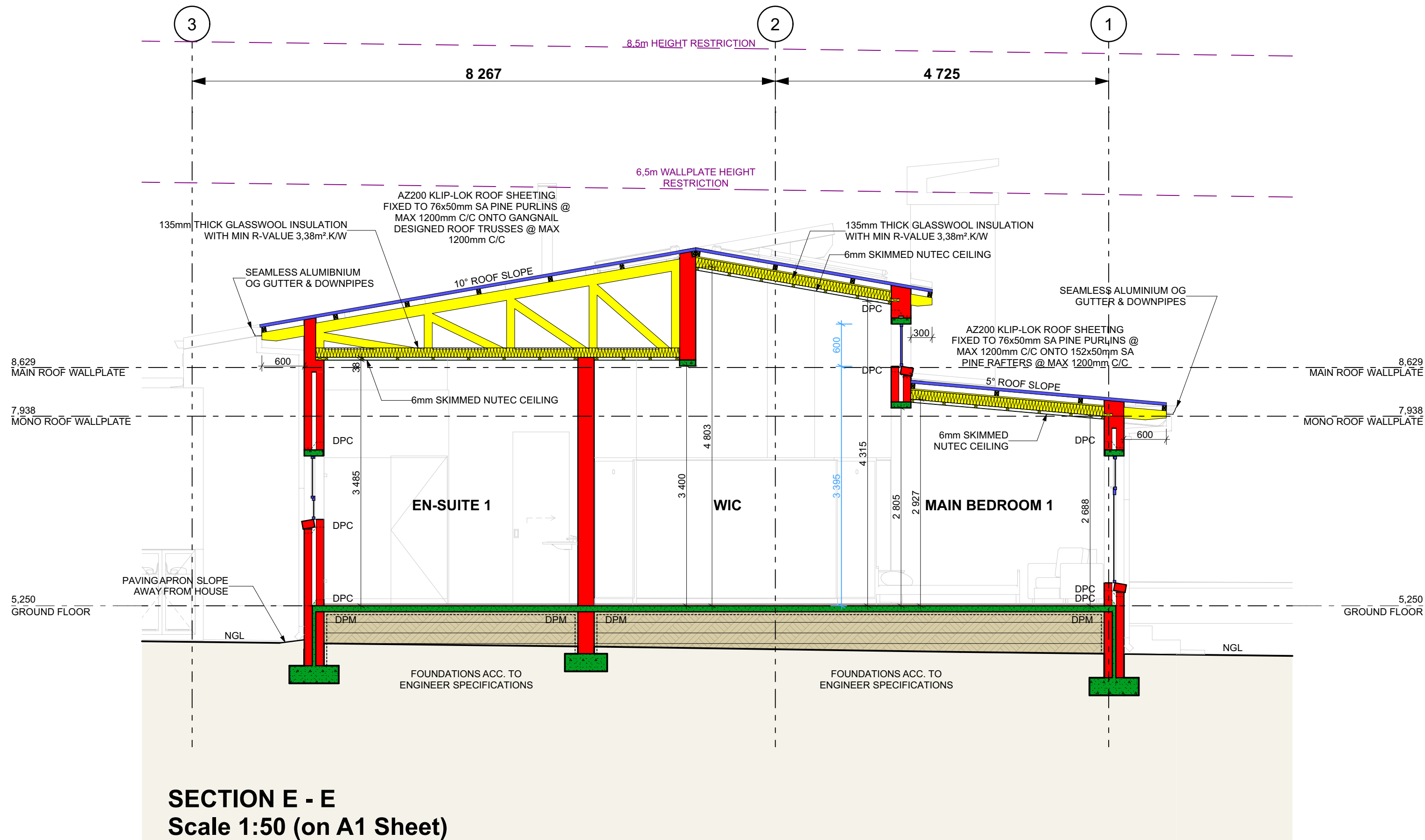
SECTIONS

SCALE 1:50	PROJECT NUMBER 2508-01
DRAWING NUMBER M007	REVISION 0
DATE PRINT ISSUED: 2025/10/27	DRAWN H DU PREEZ
	CHECKED

APPROVED
BY CLIENT

SIGNATURE:

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SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:

RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

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PROJECT

**NEW HOUSE FOR
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ON ERF FARM 135/187
RONDE VALLEY
KNYSNA**

SECTIONS

SCALE		PROJECT NUMBER	
1:50		2508-01	
DRAWING NUMBER		REVISION	
M008		0	
DATE PRINT ISSUED:		DRAWN	CHECKED
2025/10/27		H DU PREEZ	

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8,5m HEIGHT RESTRICTION

9 600

AZ200 KLIP-LOK ROOF SHEETING
FIXED TO STEEL ROOF STRUCTURE
ACC. TO ENGINEER SPECIFICATIONS

11,785 SHED FIRST FLOOR

10,165 SHED FIRST FLOOR

7,965 SHED FIRST FLOOR

5,165 SHED GROUND FLOOR

SEAMLESS ALUMINIUM OG
GUTTER & DOWNPIPES

15° ROOF SLOPE

IPE 180 ACC. TO ENGINEER

STEEL STRUCTURE ACC. TO
ENGINEER SPECIFICATIONS

1m HIGH S/S HANDRAIL ACC. TO
SANS 10400-D WITH MAX 100mm
BALUSTRADE OPENINGS

AZ200 KLIP-LOK
CLADDING

IPE 180 ACC. TO ENGINEER

PAVING APRON SLOPE
AWAY FROM HOUSE

DPC

NGL

FOUNDATIONS ACC. TO
ENGINEER SPECIFICATIONS

3 920

5 000

1 200

6 263

3 060

2 800

1 740

800

200

625

345

280

DRIP JOINT

SHED FIRST FLOOR

SHED GROUND FLOOR

8,180

7,965

5,165

SHED FIRST FLOOR

SHED GROUND FLOOR

FOUNDATIONS ACC. TO
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3 920

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OFFICIAL USE

ELECT. POWER LEGEND

P1		DOUBLE SOCKET WALL OUTLET 300mm FFL (C) 150mm ABOVE COUNTER TOPS (W) WATERPROOF
P2		STOVE CONNECTION POINT
P3		SHAVER OUTLET
P4		DISTRIBUTION BOARD WITH SWITCH OVER MODULE FOR GENERATOR COUPLING.
P5		SATELLITE SOCKET OUTLET

LIGHT FITTING LEGEND

L1		WALL MOUNTED LIGHT POINT @ INDICATED HEIGHT
L2		LED DOWN LIGHTER (ALUM BODY CHROME FACE)
L3		DOUBLE TUBE LED CEILING LIGHT
L4		WATERTIGHT WALL MOUNTED UP-& DOWNLIGHTER CONNECTED TO DAY/NIGHT SWITCH
L5		LIGHTSWITCH @ 1150mm AFFL
L6		2 WAY LIGHTSWITCH @ 1150mm AFFL
L7		CEILING LIGHT
L8		PENDANT LIGHTS

FIRST FLOOR ELECTRICAL PLAN
Scale 1:100 (on A1 Sheet)



GROUND FLOOR ELECTRICAL PLAN
Scale 1:100 (on A1 Sheet)

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SACAP REG. NO.: ST0609

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PROJECT
**NEW HOUSE FOR
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ON ERF FARM 135/187
RONDE VALLEY
KNYSNA
GROUND FLOOR ELECTRICAL
PLAN, FIRST FLOOR ELECTRICAL
PLAN**

SCALE 1:100, 1:50	PROJECT NUMBER 2508-01
DRAWING NUMBER M011	REVISION 0
DATE PRINT ISSUED: 2025/10/27	DRAWN H DU PREEZ
	CHECKED

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