

VAN TONDER INC
P.O. BOX 1536
GEORGE
6530
Tel: (044) 873-0707
(Our Ref: P00147/MAE)

Prepared by me

CONVEYANCER
JANINE FOUCHÉ
(LPCM 60411)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 8 873 000 ⁰⁰	R. 3 615 00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / VERIFY
19 MAR 2025
Nomzamo Siyoko

T 000013472 / 2025

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

RONELLE WILKINSON (97489)

JANINE FOUCHÉ (LPCM 60411)

DATA / CAPTURE
18-03-2025
ELIZABETH VAN TONDER

appeared before me, REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN,
the said Appearer being duly authorised thereto by a Power of Attorney granted to
him/her by

ANNEMARIE BOHNEMEYER

Born on 13 November 1956

**Married, which marriage is governed by the laws of the State of
COLORADO, UNITED STATES OF AMERICA, and duly assisted herein by
her spouse, ANDREAS NAGEL, insofar as needs be**

herein represented by MARY-ANN EMMERICH, duly authorized hereto by
virtue of a Special Power of Attorney signed at George on 12 December 2024

which said Power of Attorney was signed at GEORGE on 3 February 2025;

And the Appearer declared that his/her said principal had, on 29 JANUARY 2025, truly
and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her
capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf
of:

FREE WILLY .NV PROPRIETARY LIMITED

Registration Number: 2025/081951/10

(Incorporated in The Netherlands)

or its Successors in Title or assigns, in full and free property

**ERF 13028 KNYSNA,
IN THE MUNICIPALITY AND DIVISION OF KNYSNA,
PROVINCE OF THE WESTERN CAPE;**

**IN EXTENT: 1497 (ONE THOUSAND FOUR HUNDRED AND NINETY
SEVEN) Square Metres**

**FIRST TRANSFERRED by Deed of Transfer No. T76503/2003 with Diagram No.
SG 290/2003 relating thereto, AND HELD by Deed of Transfer No. T9772/2020.**

A. **SUBJECT** to the conditions referred to in Deed of Transfer No. T9294/1908 and Deed of Transfer No. T9493/1908.

B. **SUBJECT FURTHER** and **ENTITLED** to the benefit of the terms of the following omnibus endorsements, namely:-

Dated 11 April, 1938 on Deed of Transfer No. 9492 dated 31st December 1908;

Dated 30 April, 1948 on Deed of Transfer No. 12031 dated 28th August 1944;

Dated 30th December, 1948 on Deed of Transfer No. 29458 dated 30th December 1948; and

Dated 11th April, 1938 on Deed of Transfer No. 9493 dated 31st December 1908,

from which endorsements it appears that by the various transfers by which portions of Erf 1399, Knysna, were conveyed:-

“Certain restrictions relating to the use of the land for residential purposes,, value of buildings which shall be erected, drainage and sewerage and building line have been imposed against the land thereby conveyed for the benefit of the owners and their successors in title to the remainder of the land held hereunder as will more fully appear on reference to the respective deeds of transfer.”

the various Deeds of Transfer aforesaid being the following:-

No. T3476/1938, No.'s T5881/1938 and T5882/1938, No. T8582/1938, No. T3256/1939, No. T11762/1939, No. T3494/1940, No. T3759/1940, No. T13522/1943, No. T13523/1943, No. T13524/1943, No. T13525/1943, No. T14035/1943, No. T9927/1944, No. T968/1945, No. T5411/1945, No. T5412/1945, No. T5858/1945, No. T12799/1945, No. T1928/1946, No. T2143/1946, No. T3813/1946, No. T16569/1947, No. T16663/1947, No. T17138/1947, No. T17964/1947, No. T18271/1947, No. T19639/1947, No. T24923/1947, No. T2195/1948, No. T29457/1948, No. T29459/1948, No. T29460/1948, No. T29461/1948, No. T29462/1948, No. T29463/1948, No. T13523/1949.

- C. SUBJECT FURTHER and ENTITLED** to the benefit of the servitude referred to in the endorsements dated 4th October, 1961 on the said Deeds of Transfer Nos. T29458/1948 and T1336/1954, which endorsements read as follows:-

"Remainder = 897.8151 morgen – Registration of Servitude by Deed of Transfer No. 13895 d.d this day Erf 2275 measuring 83679 sq.ft thereby conveyed is subject to or entitled to benefits of the conditions 1 to 7 as more fully set out in Annexure "A" annexed hereto imposed for the benefit of the remaining extent of Erf 1399 measuring 897,8151 morgen held under Para 2 hereof. As will more fully appear from said Deed of Transfer"

The said Annexure "A" reads as follows:-

1. The Transferee and his successors in title to the property hereby sold shall not be entitled to call upon the transferor as owner of the remaining extent of Erf 1399 Knysna measuring 897,8151 morgen to contribute towards the cost of construction or maintenance of any boundary fences erected on the boundary of the property hereby sold.
2. The Transferee and his successors in title shall be entitled to use the property, hereby transferred for residential purposes, general business purposes, including Tearoom, Hotel or block of flats. The transferee and his successors in title shall not, however, carry on on the property any dangerous or obnoxious trade or any process of manufacture of any article.

3.
4. The Transferee and his successors in title shall not construct any hoarding or screen for advertising purposes or display any advertisement of any kind whatsoever, save and except in connection with any business lawfully being carried on on the property.
5. No buildings or improvements erected on the property hereby transferred other than fences or boundary walls shall be erected at a distance of less than fifteen feet from the road boundary to the East of the property or within a distance of fifteen feet of the Western boundary of the property hereby transferred.
6. The Transferee and his successors in title to the property hereby transferred shall be entitled to deposit any soil resulting from any excavations on the property hereby transferred on the remaining extent of Erf 1399 Knysna, measuring 897,8151 morgen owned by the Transferor and his successors in title, at such point in such reasonable manner as the Transferor and his successors in title shall indicate.
7. The Transferor and his successors in title to the remaining extent of Erf 1399 Knysna measuring 897,8151 morgen shall not be entitled to erect any buildings on any portion of the said remaining extent of Erf 1399 Knysna measuring 897,8151 morgen which shall have the effect of obscuring or interfering with the outlook from the property hereby transferred or from any improvements erected thereon."

D. SUBJECT FURTHER to the servitude referred to in the following endorsement dated 13th November 1969 on the said Deeds of Transfer Nos. 1336/1954 and 29458/1948, namely:-

"Remainder – Para 2 = 897,8151 morgen registration of Servitude.

By Notarial Deed No. 580 dated 25/10/1968 registered this day, the remainder of Erf 1399 Knysna, measuring 897,8151 morg. held under para 2 hereof, is subject to a right in favour of the Municipality of Knysna, to construct, place and at all times use, inspect, maintain, cleanse, repair, replace, relay, conduct and manage a pipeline six (6) metres in width and a service reservoir of 100,000 gallons capacity in, through and upon the said remainder, along a route and in a position still to be determined subject to the conditions and with ancillary rights more fully set out in said Notarial Deed."

- E. SUBJECT FURTHER** to the servitude referred to in the following endorsement dated 13th November 1969 on the said Deeds of Transfer Nos. 1336/1954 and 29458/1948, namely:-

"Remainder Para 2 = 897,8151 morgen registration of Servitude.

By Notarial Deed No. 581 dated 3rd June 1969 registered this day, the remainder of Erf 1399 Knysna, measuring 897,8151 morg. held under para 2 hereof, is subject to a right in favour of the Municipality of Knysna to construct, place and at all times use, inspect, maintain, cleanse, repair, replace, relay, conduct and manage a service reservoir of 20,000 gallons capacity and one or more pipelines ancillary thereto through, upon and over the said remainder in a position and along a route still to be determined, subject to conditions and with ancillary rights more fully set out in said Notarial Deed."

- F. SUBJECT FURTHER** to the servitude referred to in the following endorsement dated 11th February, 1970 on the said Deeds of Transfer Nos. 29458/1948 and 1336/1954, namely:-

"Remainder of Para 2

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By D/T No. 3391/1970 dated this day the within property namely Remainder of Erf 1399 Knysna meas. 469,2196 hectares is subject to a pipeline servitude from any Municipal reservoirs which may be established on within ppty, onto Erf 3471 meas. 42,8268 hectares, Erf 3472 meas. 42,8275 hectares, Erf 3473 meas. 42,8259 hectares, Erf 3474 meas. 42,8280 hectares, Erf 3475 meas. 42,8275 hectares, & Erf 3476 meas. 42,8267 hectares held by above Deed of Transfer No. 3391/1970 so as to provide a water supply to said properties for the purposes of developing a Township or Townships thereon. The route of such pipeline shall be determined by mutual agreement between the parties concerned as will more fully appear on reference to said Deed of Transfer."

- G. SUBJECT FURTHER** to the following endorsement dated 25th July 1984 on the said Deed of Transfer No. T21493/1979, reading as follows:-

PARA 1

By Deed of Transfer No. T38151/1984 dated this day with within property is subject to the following conditions imposed by the Administrator in terms of Section 9 of Ordinance No. 33 of 1934:-

1. The owner of this erf shall without compensation be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.

2. The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

H. **SUBJECT FURTHER** to the following conditions, as contained in Deed of Transfer No. T76503/2003, imposed by the Municipality of Knysna in terms of Ordinance No. 15 of 1985 when approving the sub-division of Erf 9252 Knysna, reading:-

1. That dwellings be limited to a single storey, with loft rooms permitted within the roof space, and a maximum height of 6.0 m above Natural Ground Level, and that buildings be stepped to follow the slope of the site and to reduce excavation work, to the satisfaction of the Knysna Municipality.

WHEREFORE the said Appearer, renouncing all rights and title which the said

ANNEMARIE BOHNEMEYER, Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

FREE WILLY .NV PROPRIETARY LIMITED

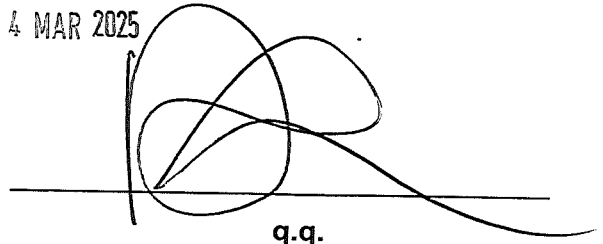
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or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of **R8 873 080,00 (EIGHT MILLION EIGHT HUNDRED AND SEVENTY THREE THOUSAND AND EIGHTY RAND)**.

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS:
WESTERN CAPE at CAPE TOWN on 14 MAR 2025



q.q.

In my presence



REGISTRAR OF DEEDS

