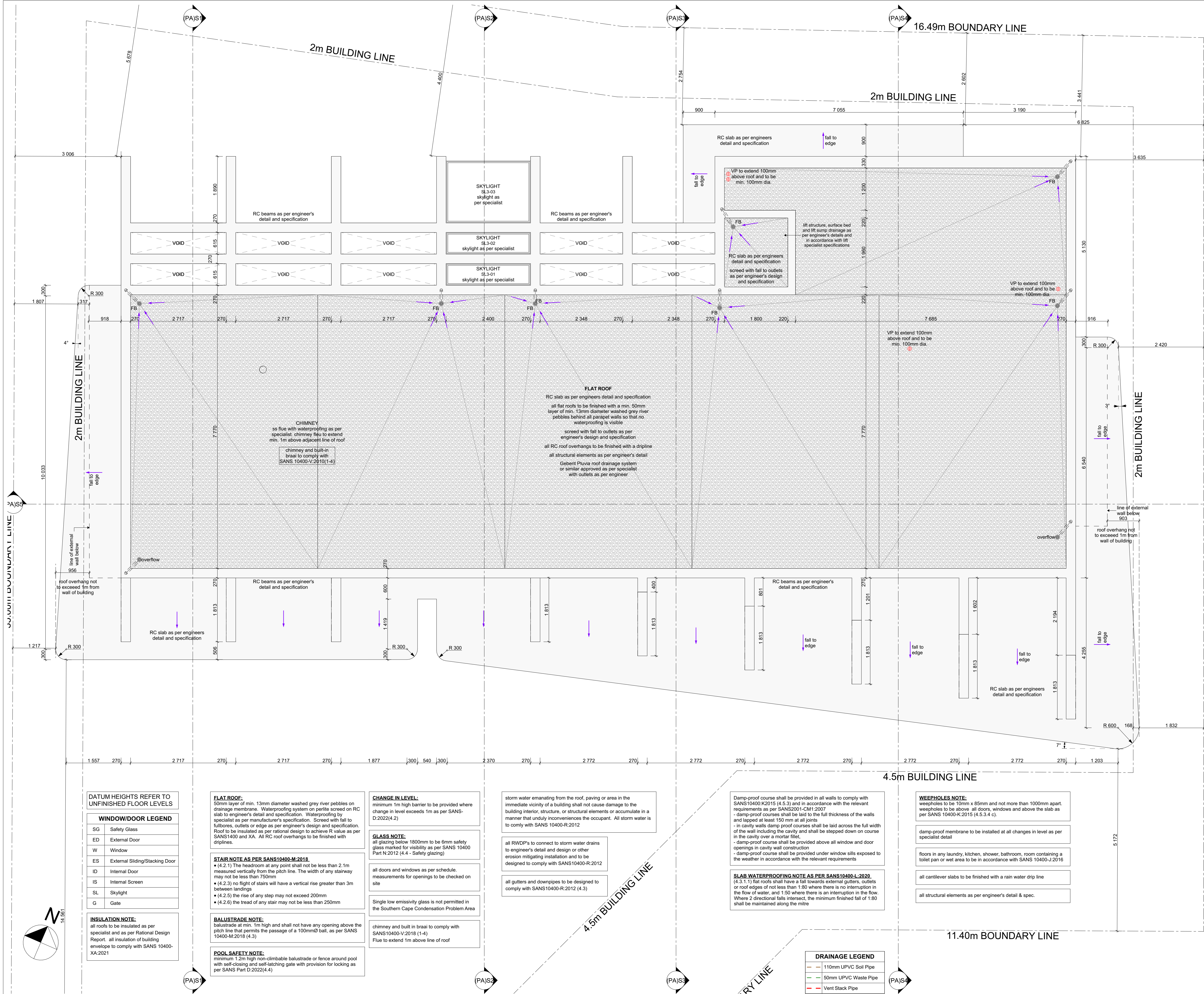




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Client

HOUSE FOR ATOLA TRADING

ENTERPRISE PTY LTD

Erf 7856

31 Glen View Road, The Heads Knysna

Western Cape South Africa

Site Area: 1 017m²

Project

PROPOSED NEW BUILDING

Revisions

Date	Rev. No.	Description
2025-10-22	P1	DEPARTURE APPLICATION
2025-11-18	P2	ISSUE FOR PLANNING APPLICATION

Client Plan Approval

Client:

Atola Trading Enterprise (Pty) Ltd

[Signature]

Architect:

Lizet Grobler

PrArch 38913107

[Signature]

Engineer:



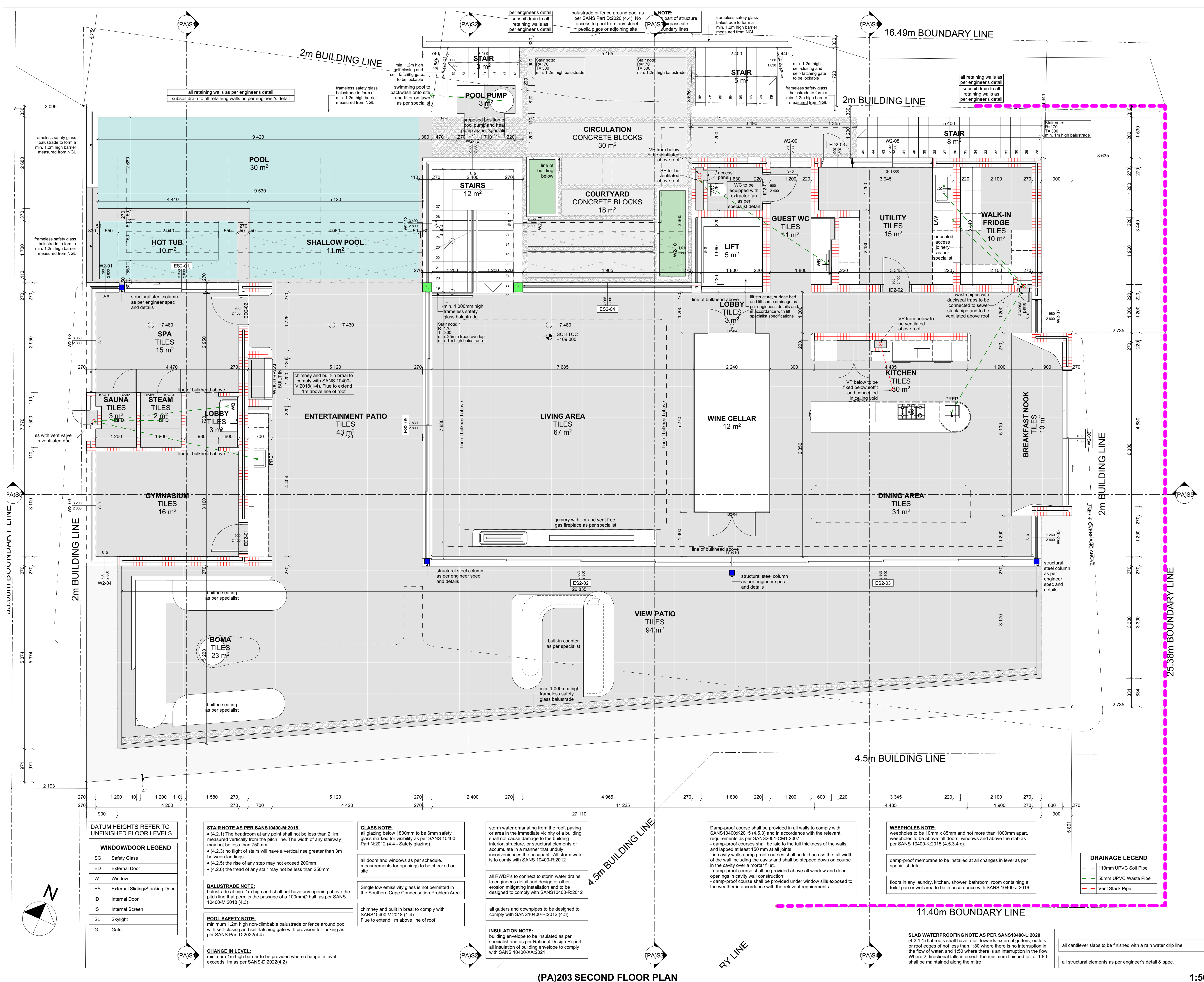
ARTE
ARCHITECTS

Arte Projects (Pty) Ltd Reg. 2014 / 057361 / 07
Cornwall Hill Office 393, Berryhead Lane, Centurion
PO Box 369, Cornwall Hill, 0178
info@arte.co.za
SACAP Ref #: PA5084

Title

MUNICIPAL DRAWINGS
ROOF PLAN

Designed	Drawn by	Date	Scale	Rev
Arte Architects	AA	2025-11-18	As Shown	
Drawing number				
(PA)204				P2



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Erf 7856
31 Glen View Road, The Heads Knysna
Western Cape South Africa
Site Area: 1 017m²

Project

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Client Plan Approval

Client:
Atola Trading Enterprise (Pty) Ltd

[Signature]

Architect:
Lizet Grobler
PrArch 38913107

[Signature]

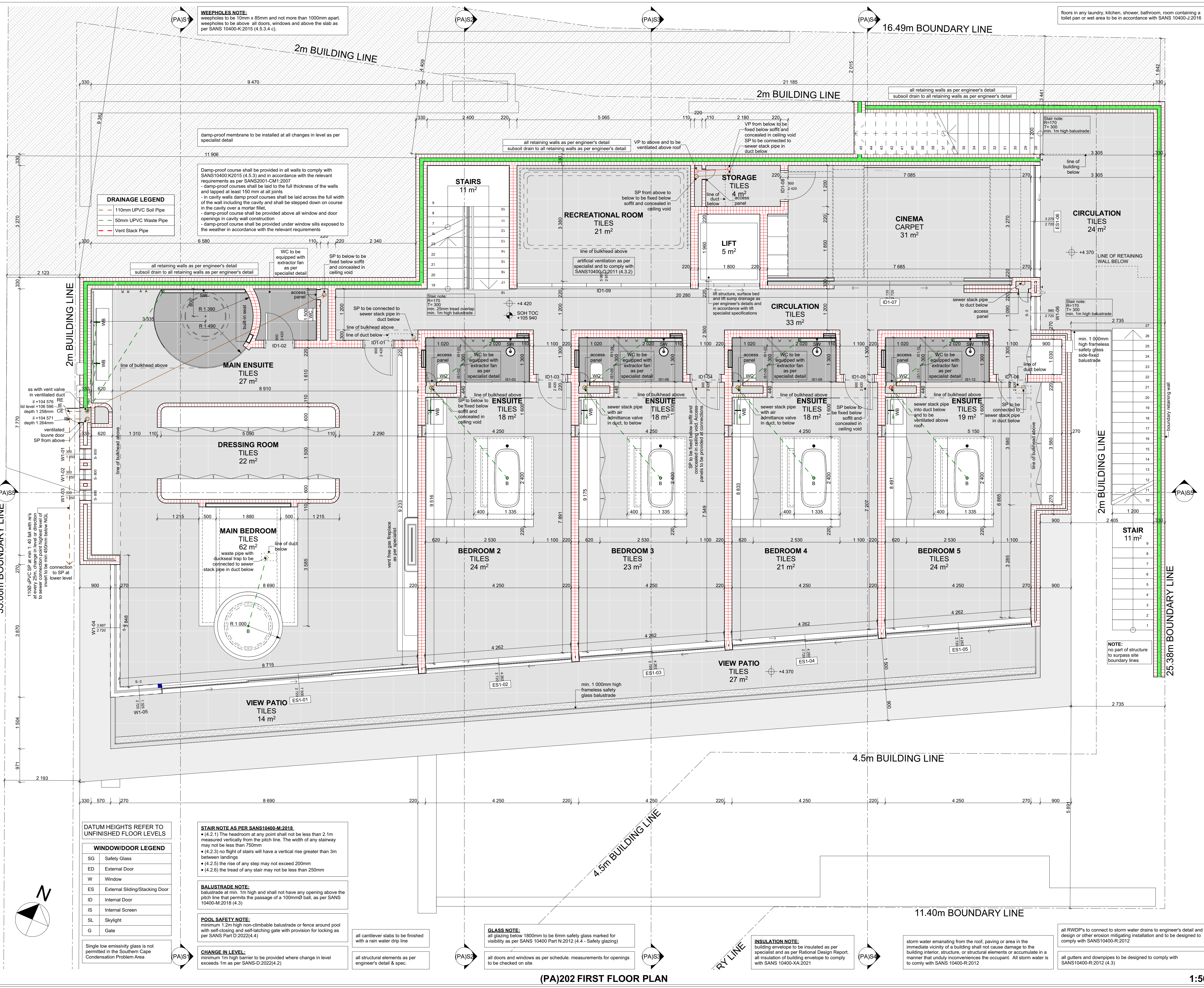
Engineer:



MUNICIPAL DRAWINGS
SECOND FLOOR PLAN

Designed	Drawn by	Date	Scale
Arte Architects	AA	2025-11-18	As Shown
Drawing number			Rev
(PA)203			P2

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Erf 7856
31 Glen View Road, The Heads Knysna
Western Cape South Africa
Site Area: 1 017m²

Project

PROPOSED NEW BUILDING

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2025-11-18	P2	ISSUE FOR PLANNING APPLICATION

Client Plan Approval

Client:
Atola Trading Enterprise (Pty) Ltd

Architect:
Lizet Grobler
PrArch 38913107

Engineer:

ARTE ARCHITECTS
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PO Box 393, Cornwall Hill, 0178
info@arte.co.za
SACAP Ref #: PA5084

Title

MUNICIPAL DRAWINGS
FIRST FLOOR PLAN

Designed	Drawn by	Date	Scale
Arte Architects	AA	2025-11-18	As Shown

Drawing number	Rev
(PA)202	P2

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WINDOW/DOOR LEGEND	
SG	Safety Glass
ED	External Door
W	Window
ES	External Sliding/Stacking Door
ID	Internal Door
IS	Internal Screen
SL	Skylight
G	Gate

STAIR NOTE AS PER SANS10400-M:2018

- (4.2.1) The headroom at any point shall not be less than 2.1m measured vertically from the pitch line. The width of any stairway may not be less than 750mm
- (4.2.3) no flight of stairs will have a vertical rise greater than 3m between landings
- (4.2.5) the rise of any step may not exceed 200mm
- (4.2.6) the tread of any stair may not be less than 250mm

BALUSTRADE NOTE:

- balustrade at min. 1m high and shall not have any opening above the pitch line that permits the passage of a 100mmØ ball, as per SANS 10400-M:2018 (4.3)

all structural elements as per engineer's detail & spec.

POOL SAFETY NOTE:

- minimum 1.2m high non-climbable balustrade or fence around pool with self-closing and self-latching gate with provision for locking as per SANS Part D:2022(4.4)

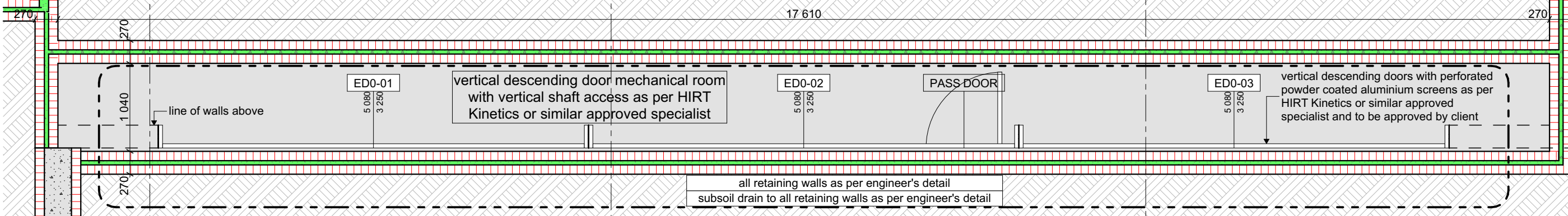
CHANGE IN LEVEL:

- minimum 1m high barrier to be provided where change in level exceeds 1m as per SANS-D:2022(4.2)

GLASS NOTE:

- all glazing below 1800mm to be 6mm safety glass marked for visibility as per SANS 10400 Part N:2012 (4.4 - Safety glazing)

all doors and windows as per schedule, measurements for openings to be checked on site



DATUM HEIGHTS REFER TO UNFINISHED FLOOR LEVELS

storm water emanating from the roof, paving or area in the immediate vicinity of a building shall not cause damage to the building interior, structure, or structural elements or accumulate in a manner that unduly inconveniences the occupant. All storm water is to comply with SANS 10400-R:2012

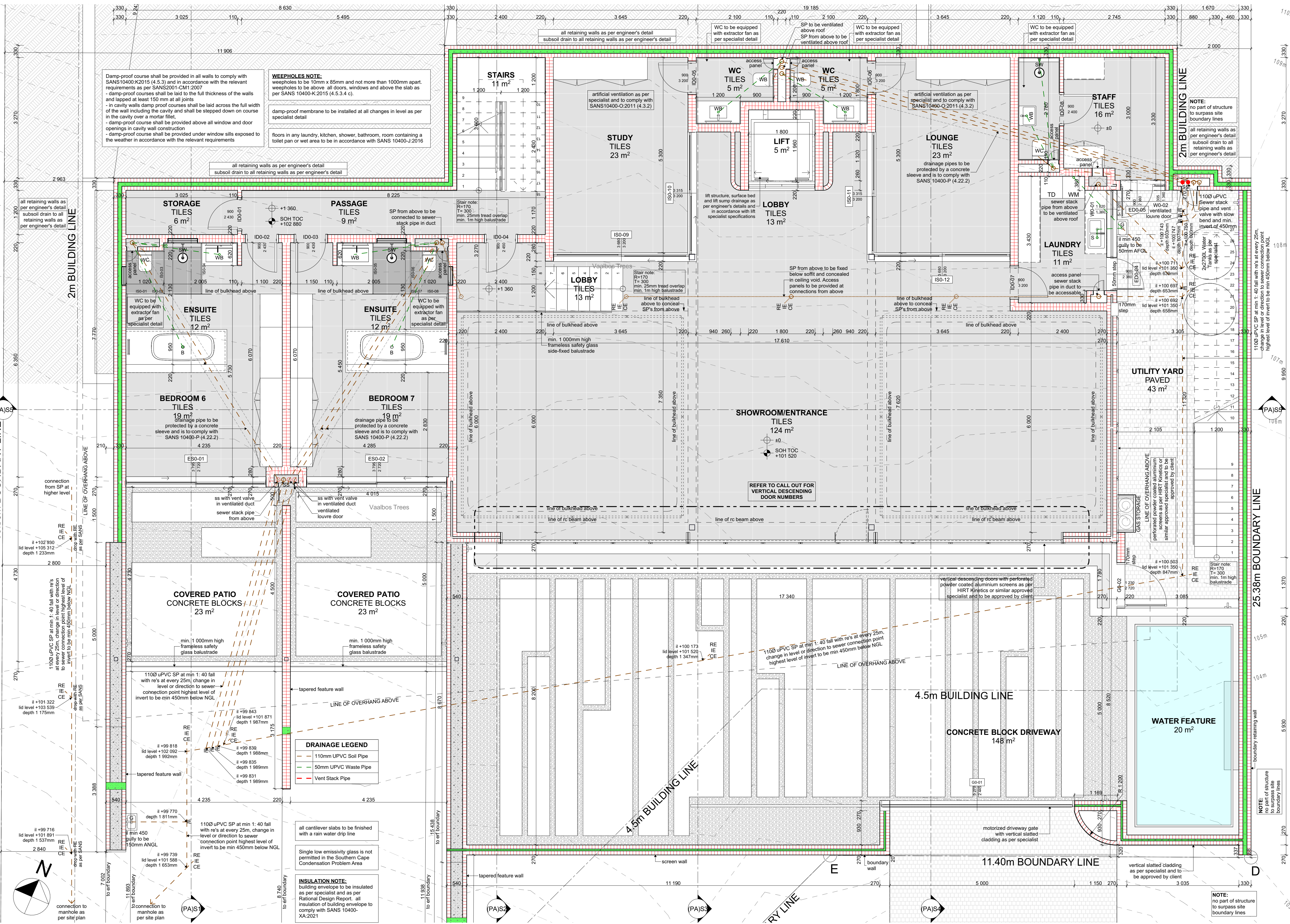
all RWDP's to connect to storm water drains to engineer's detail and design or other erosion mitigating installation and to be designed to comply with SANS 10400-R:2012

all gutters and downpipes to be designed to comply with SANS 10400-R:2012 (4.3)

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MUNICIPAL DRAWINGS
GROUND FLOOR PLAN

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Arte Architects	AA	2025-11-18	As Shown

Drawing number	Rev
(PA)201	P2

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