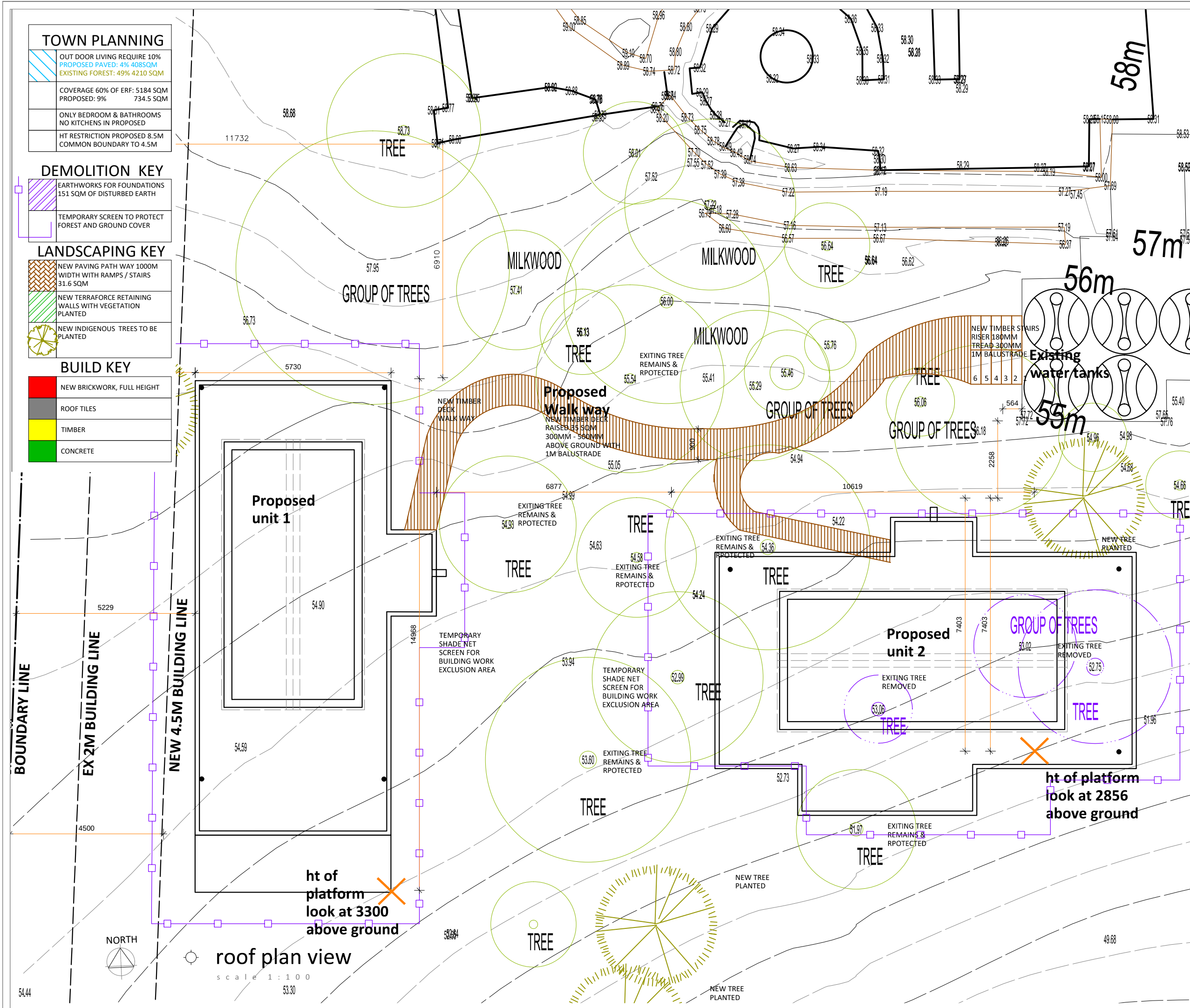


| TOWN PLANNING                                                                    |                                                                                            |
|----------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  | OUT DOOR LIVING REQUIRE 10%<br>PROPOSED PAVED: 4% 4085SQM<br>EXISTING FOREST: 49% 4210 SQM |
|  | COVERAGE 60% OF ERF: 5184 SQM<br>PROPOSED: 9% 734.5 SQM                                    |
|  | ONLY BEDROOM & BATHROOMS<br>NO KITCHENS IN PROPOSED                                        |
|  | HT RESTRICTION PROPOSED 8.5M<br>COMMON BOUNDARY TO 4.5M                                    |

| DEMOLITION KEY                                                                   |                                                          |
|----------------------------------------------------------------------------------|----------------------------------------------------------|
|  | EARTHWORKS FOR FOUNDATIONS<br>151 SQM OF DISTURBED EARTH |
|  | TEMPORARY SCREEN TO PROTECT<br>FOREST AND GROUND COVER   |

| LANDSCAPING KEY                                                                  |                                                                    |
|----------------------------------------------------------------------------------|--------------------------------------------------------------------|
|  | NEW PAVING PATH WAY 1000M<br>WIDTH WITH RAMPS / STAIRS<br>31.6 SQM |
|  | NEW TERRAFORCE RETAINING<br>WALLS WITH VEGETATION<br>PLANTED       |
|  | NEW INDIGENOUS TREES TO BE<br>PLANTED                              |

| BUILD KEY                                                                        |                            |
|----------------------------------------------------------------------------------|----------------------------|
|  | NEW BRICKWORK, FULL HEIGHT |
|  | ROOF TILES                 |
|  | TIMBER                     |
|  | CONCRETE                   |



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|-----|------------|-------------------------------------|
| rev | date       | description                         |

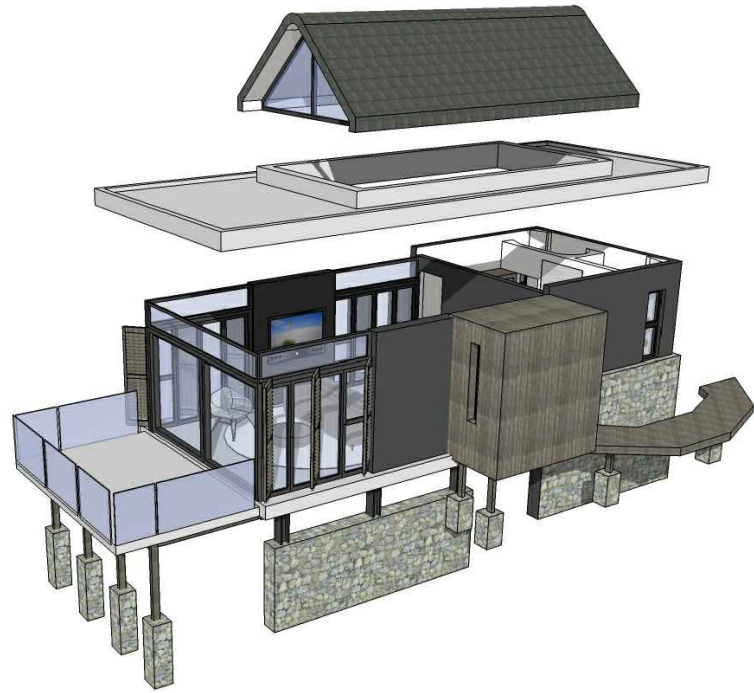
**MR M Conyers**  
ERF 3116  
6 CUTHBERT Street  
KANONKOP, Knysna  
Western Cape

| DRAWING NAME | SITE DEVELOPMENT PLAN |          |
|--------------|-----------------------|----------|
| DWG. NO      | 3116 - 6 - GA - 1001  |          |
| SCALE        | 1:200 1:100 at A3     |          |
| DATE         | 2025.06.25            |          |
| REV          | A                     | B BUTLER |

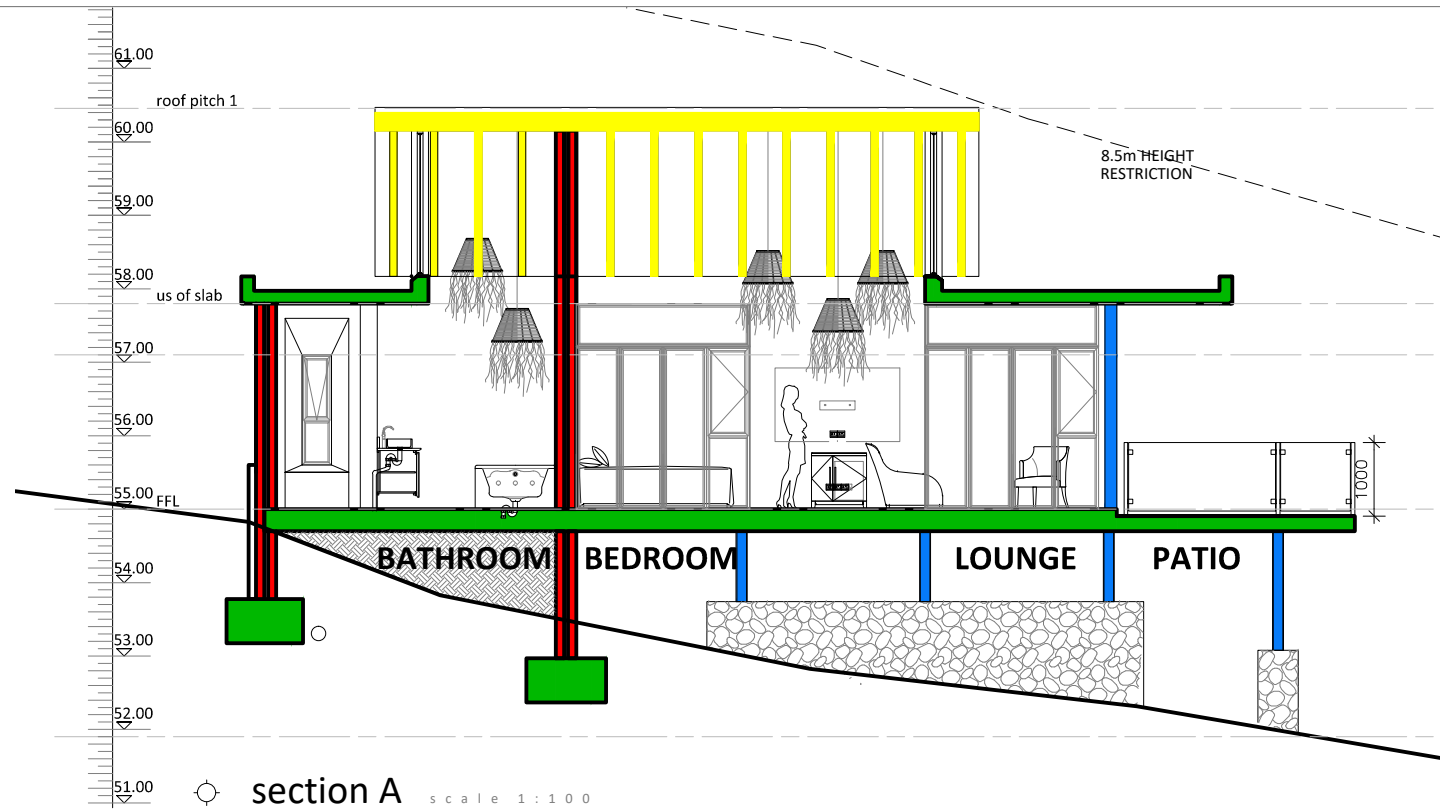
**BMJ**

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Eastford Glen, Knysna  
m: +27 84516 4606  
bmj@axxess.co.za

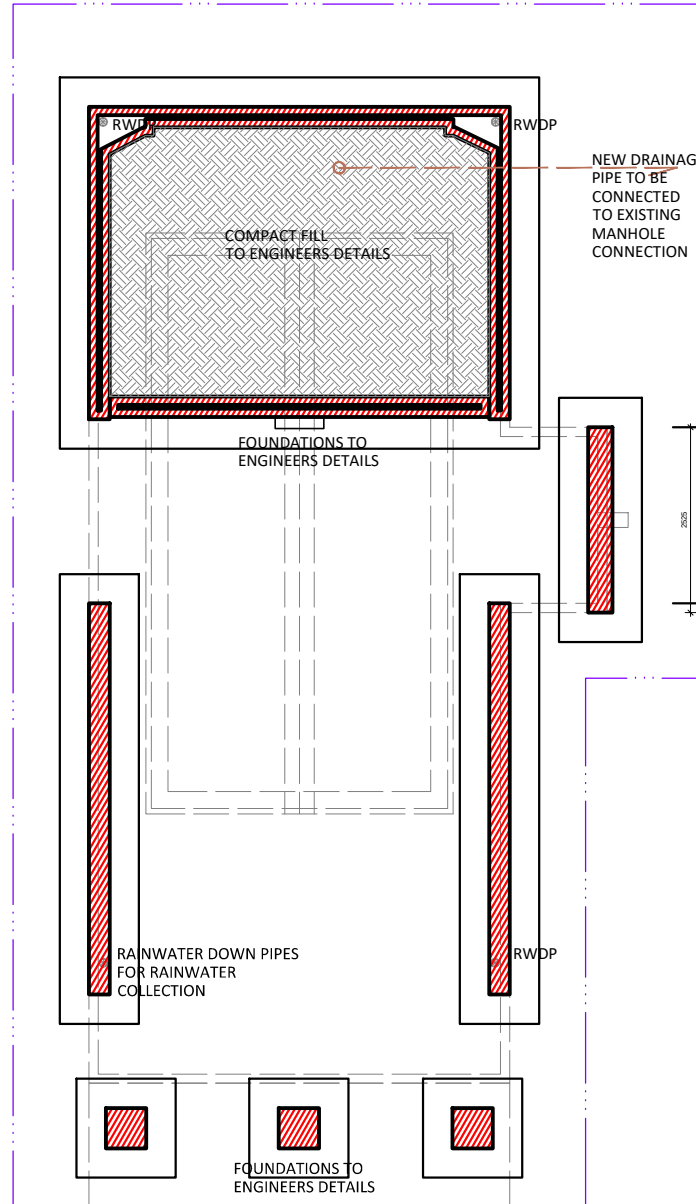
**ISSUE FOR COUNCIL**



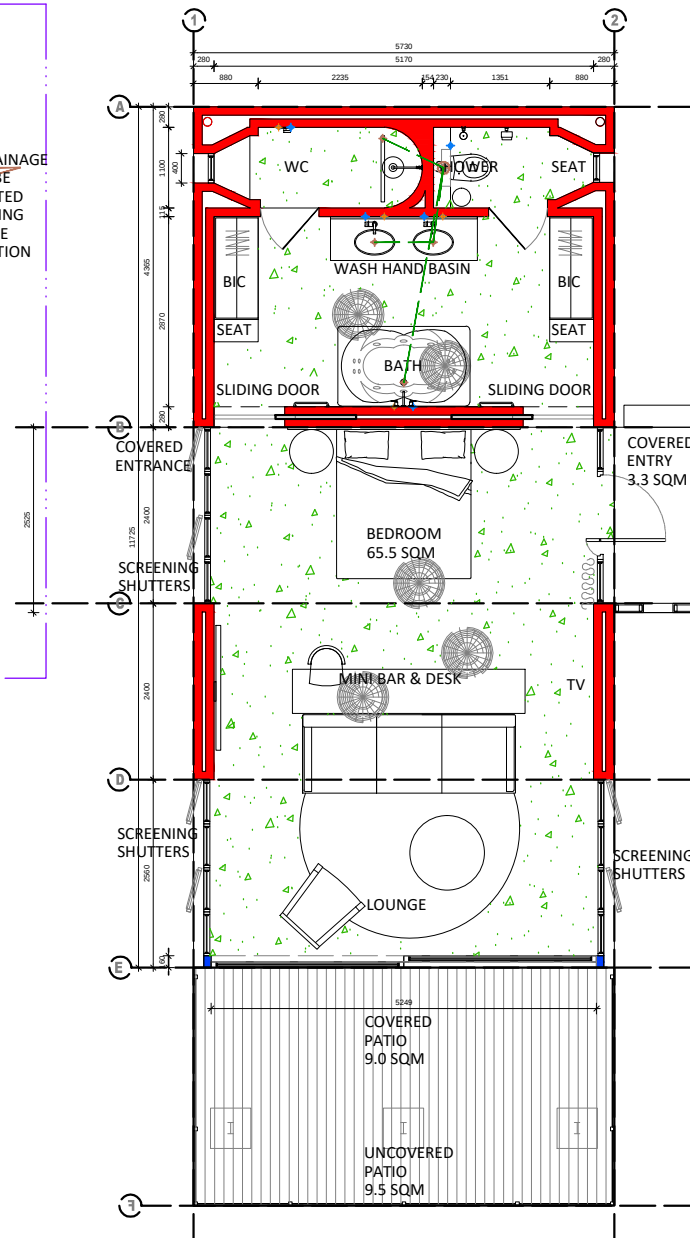
3D VIEW - UNIT 1



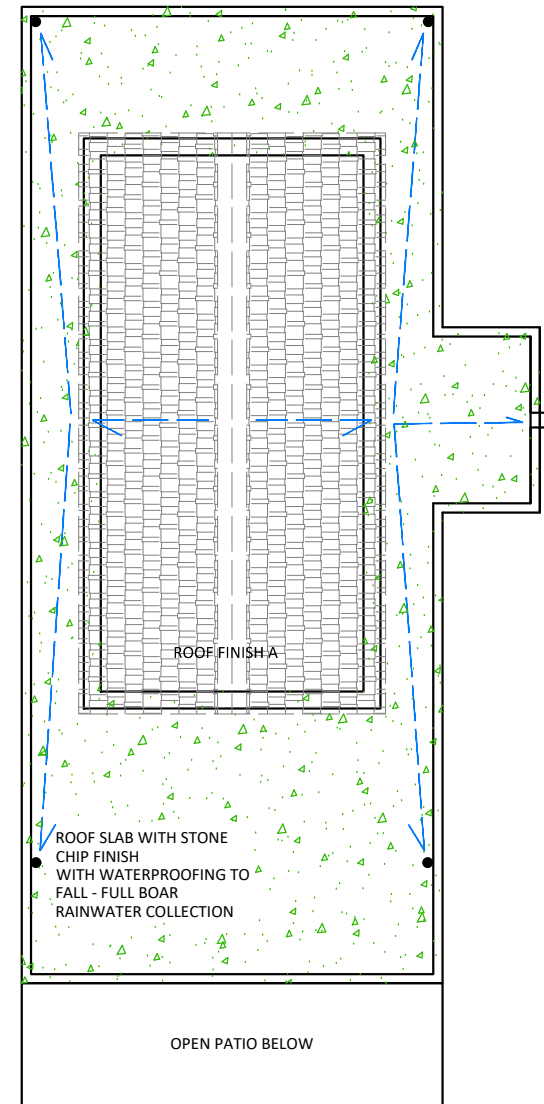
section A scale 1:100



foundation & post plan scale 1:100



floor slab plan scale 1:100



roof plan scale 1:50

### DEMOLITION KEY

|  |                                                          |
|--|----------------------------------------------------------|
|  | EARTHWORKS FOR FOUNDATIONS<br>151 SQM OF DISTURBED EARTH |
|  | TEMPORARY SCREEN TO PROTECT<br>FOREST AND GROUND COVER   |

### LANDSCAPING KEY

|  |                                                                    |
|--|--------------------------------------------------------------------|
|  | NEW PAVING PATH WAY 1000M<br>WIDTH WITH RAMPS / STAIRS<br>31.6 SQM |
|  | NEW TERRAFORCE RETAINING<br>WALLS WITH VEGETATION<br>PLANTED       |
|  | NEW INDIGENOUS TREES TO BE<br>PLANTED                              |

### BUILD KEY

|  |                            |
|--|----------------------------|
|  | NEW BRICKWORK, FULL HEIGHT |
|  | ROOF TILES                 |
|  | TIMBER                     |
|  | CONCRETE                   |

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**MR M Conyers**  
ERF 3116  
6 CUTHBERT Street  
KANONKOP, Knysna  
Western Cape

DRAWING NAME FOUNDATION, FLOOR LAYOUT & ROOF PLAN, SECTION - UNIT 1

DWG. NO 3116 - 6 - GA - 1002

SCALE 1:200 1:100 at A3

DATE 2025.06.25

REV A B BUTLER

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**ISSUE FOR COUNCIL**

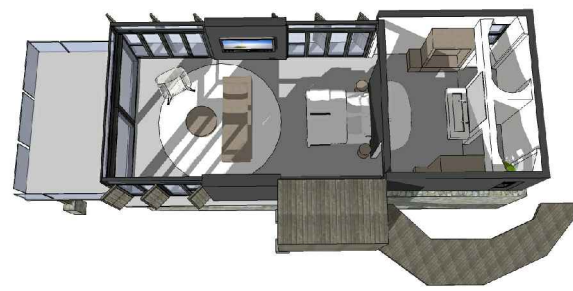


SOUTH ELEVATION: UNIT 1 - 3D VIEW



UNIT 2 - 3D VIEW

WEST ELEVATION: UNIT 1 - 3D VIEW



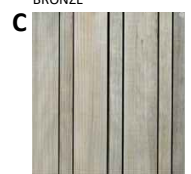
UNIT 1 - BIRDS EYE VIEW



A  
MARLEY ROOF FLAT TILES  
GRAY & MARLEY SOLAR  
TILES GRAY



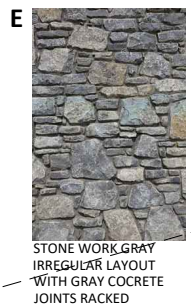
B  
ALUMINUM WINDOW &  
DOOR FRAMES  
BRONZE



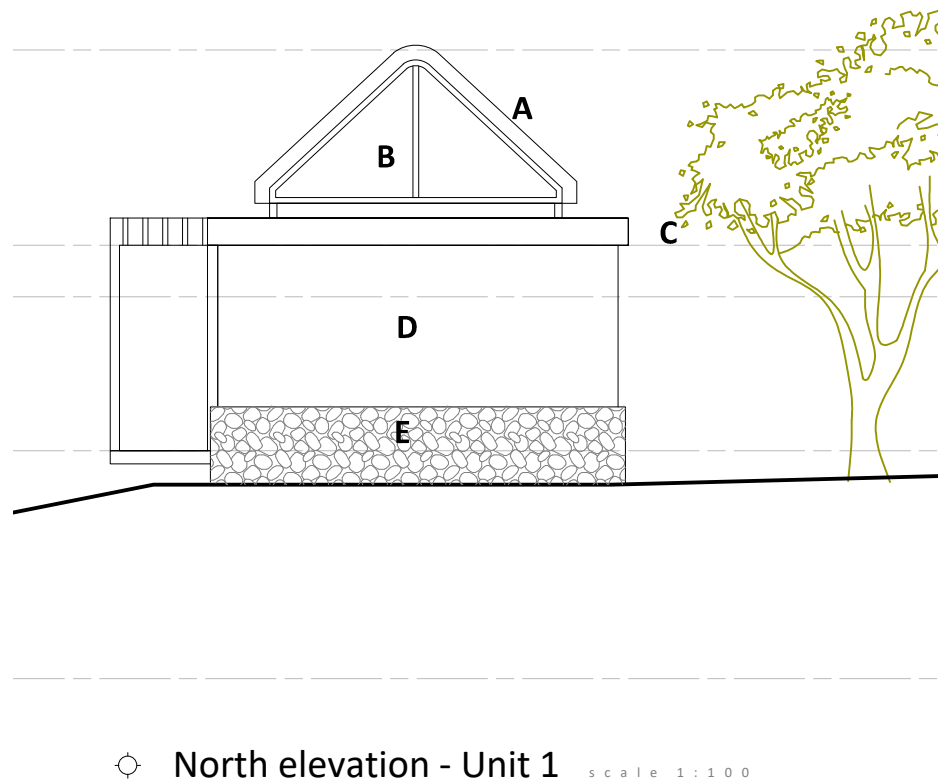
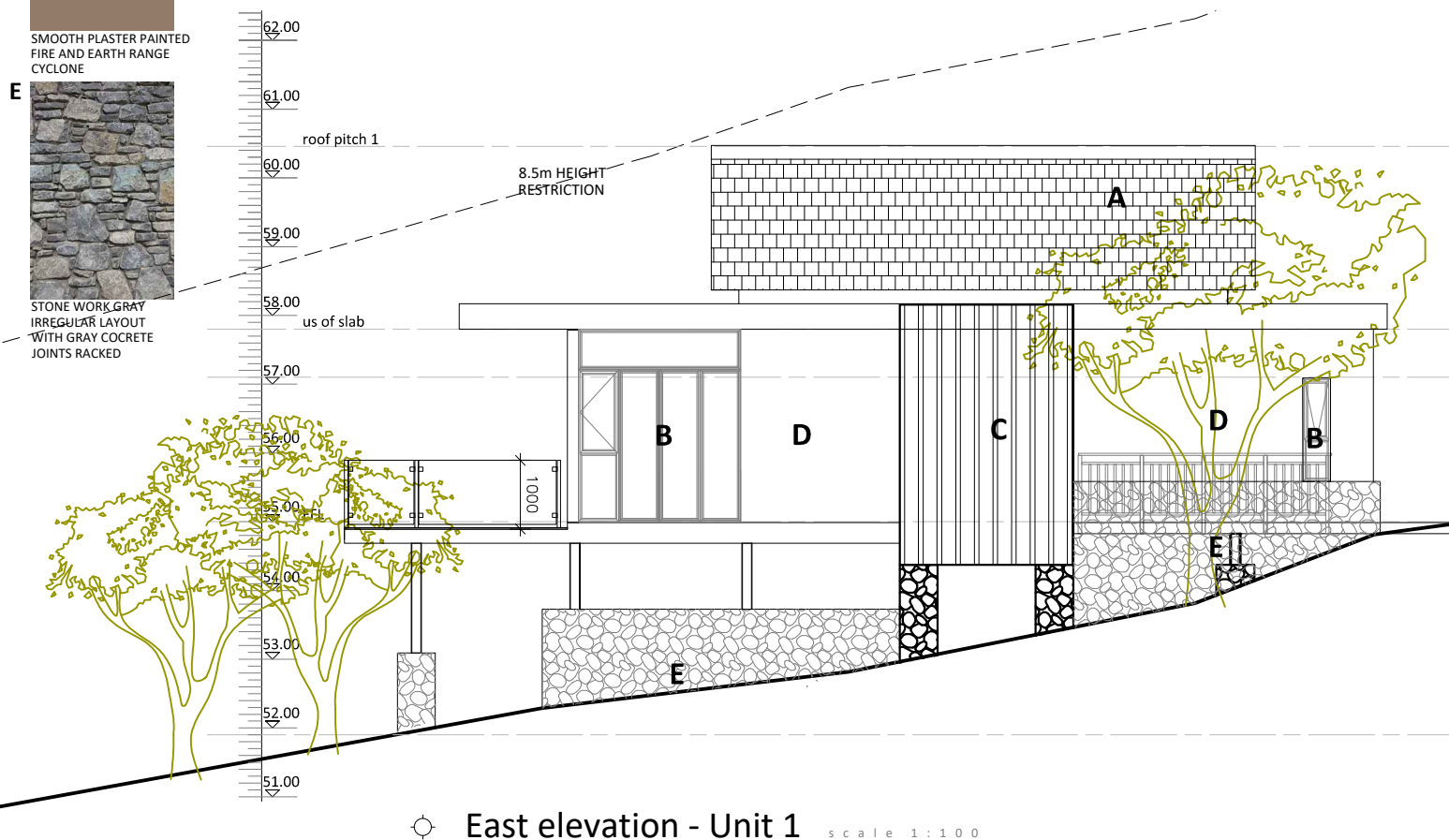
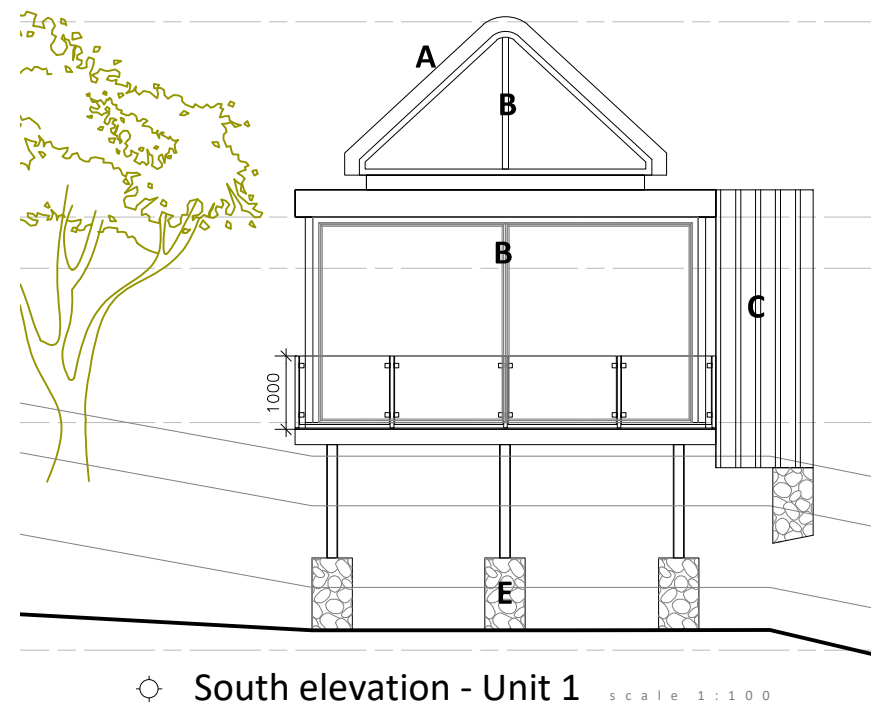
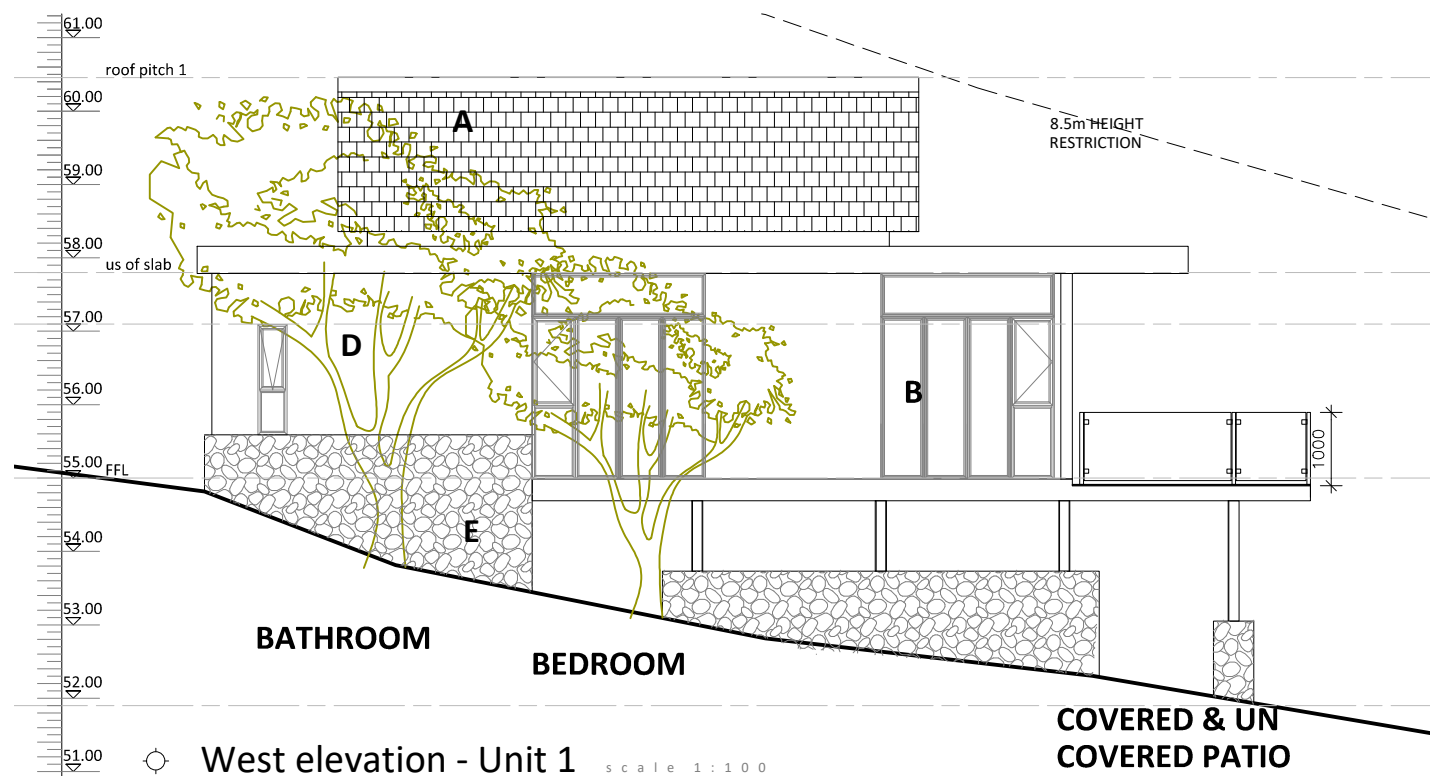
C  
NATURAL BALAU TIMBER  
LEFT TO GO GRAY



D  
SMOOTH PLASTER PAINTED  
FIRE AND EARTH RANGE  
CYCLONE



E  
STONE WORK GRAY  
IRREGULAR LAYOUT  
WITH GRAY CONCRETE  
JOINTS RACKED



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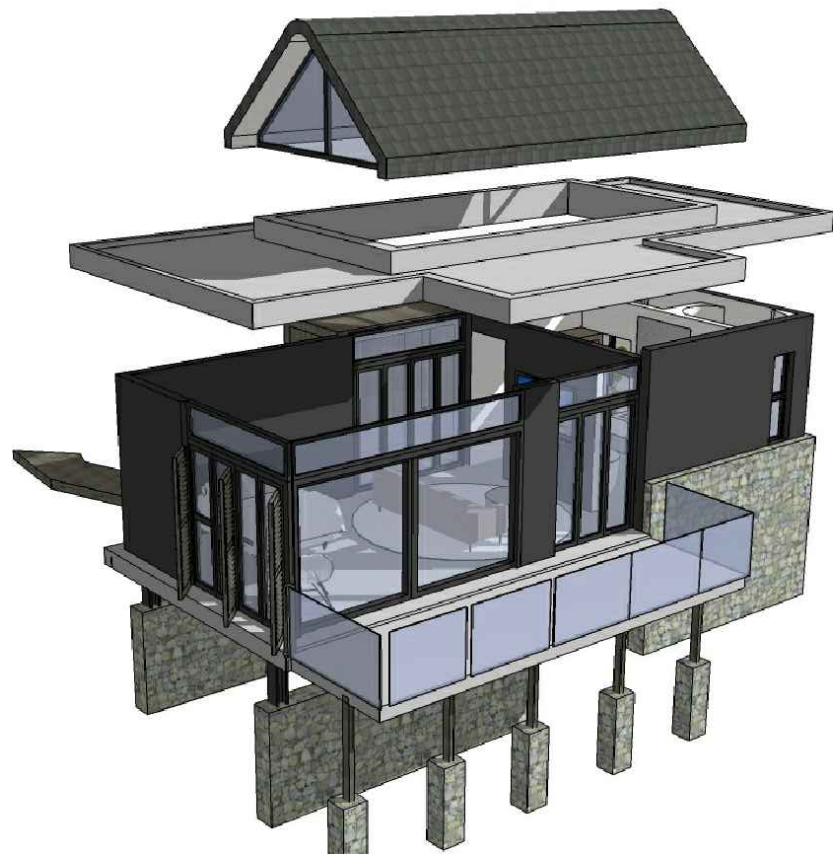
MR M Conyers  
ERF 3116  
6 CUTHBERT Street  
KANONKOP, Knysna  
Western Cape

|              |                      |          |
|--------------|----------------------|----------|
| DRAWING NAME | UNIT 1 ELEVATIONS    |          |
| DWG. NO      | 3116 - 6 - GA - 1003 |          |
| SCALE        | 1:200 1:100          | at A3    |
| DATE         | 2025.06.25           |          |
| REV          | A                    | B BUTLER |

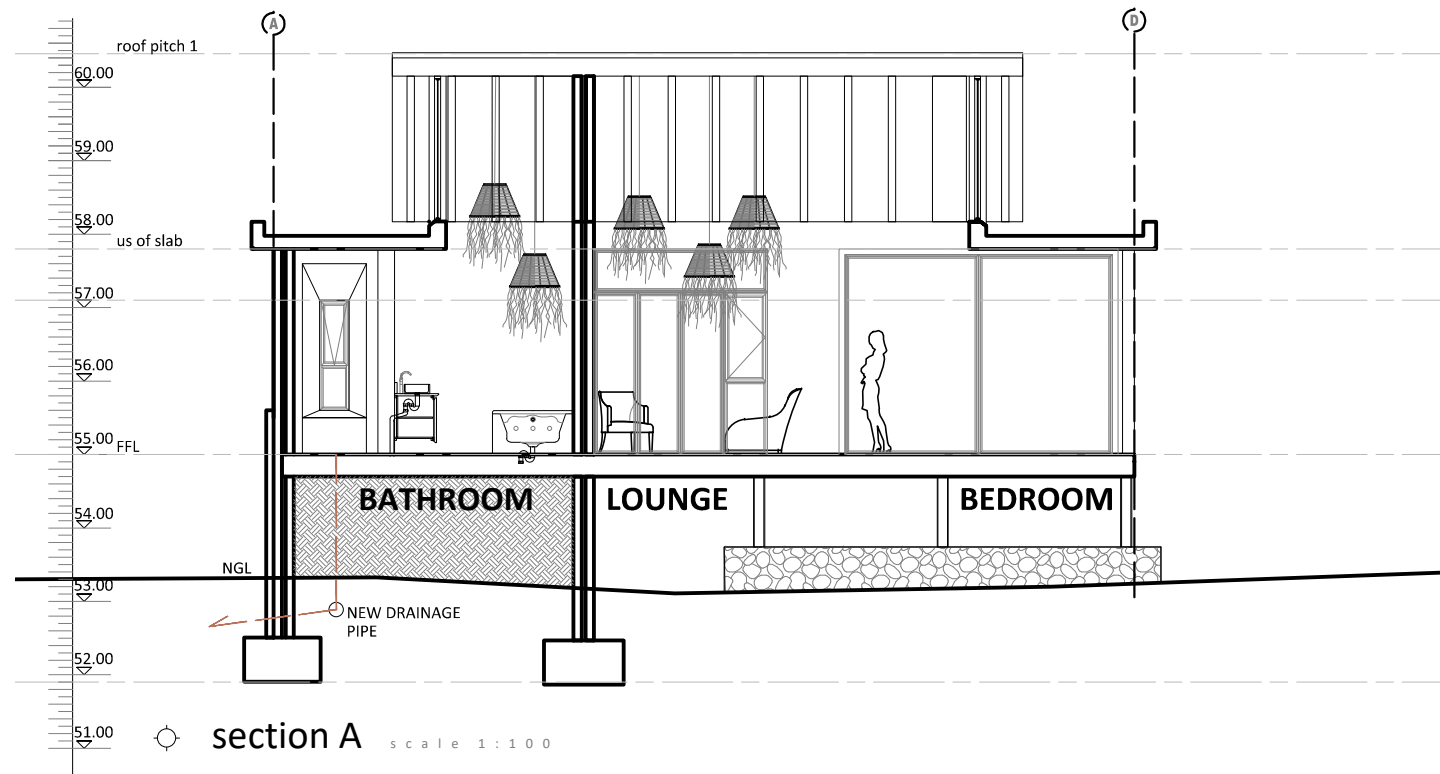
**BMJ**

3 Hadedas street ,  
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m: +27 84516 4606  
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3D VIEW - UNIT 2



#### DEMOLITION KEY

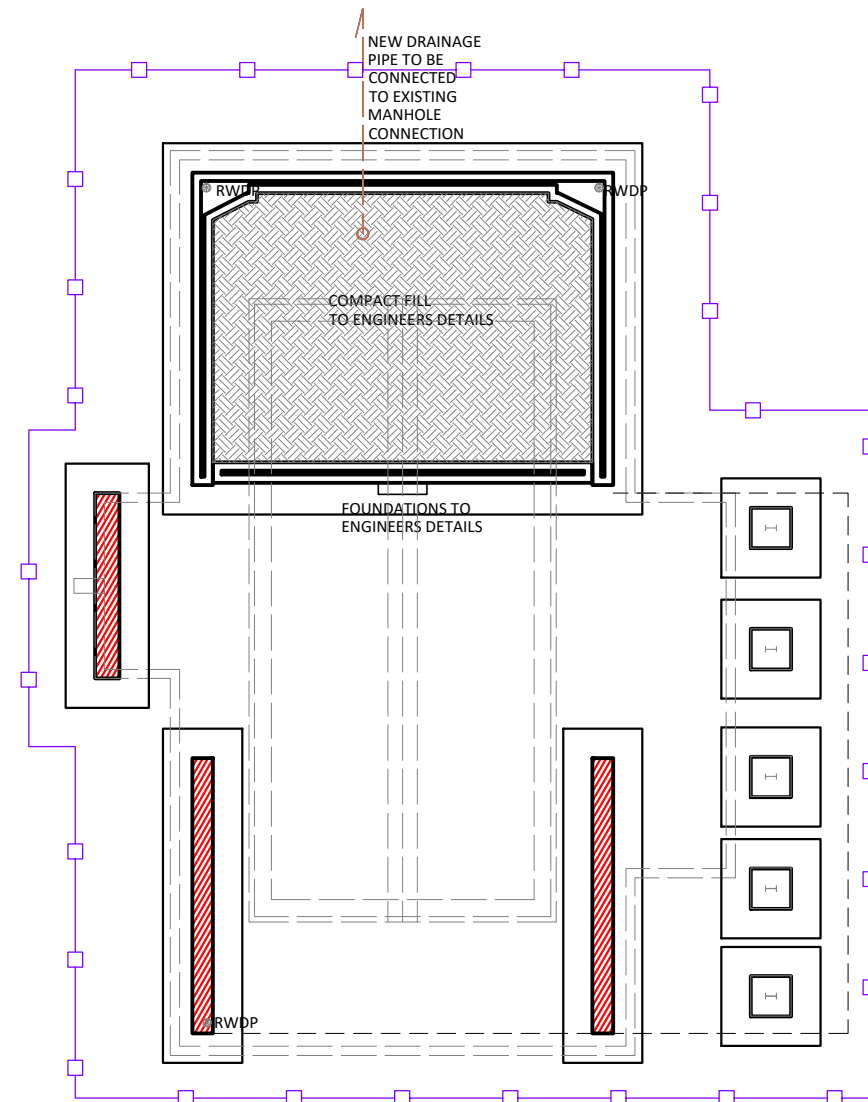
- EARTHWORKS FOR FOUNDATIONS  
151 SQM OF DISTURBED EARTH
- TEMPORARY SCREEN TO PROTECT  
FOREST AND GROUND COVER

#### LANDSCAPING KEY

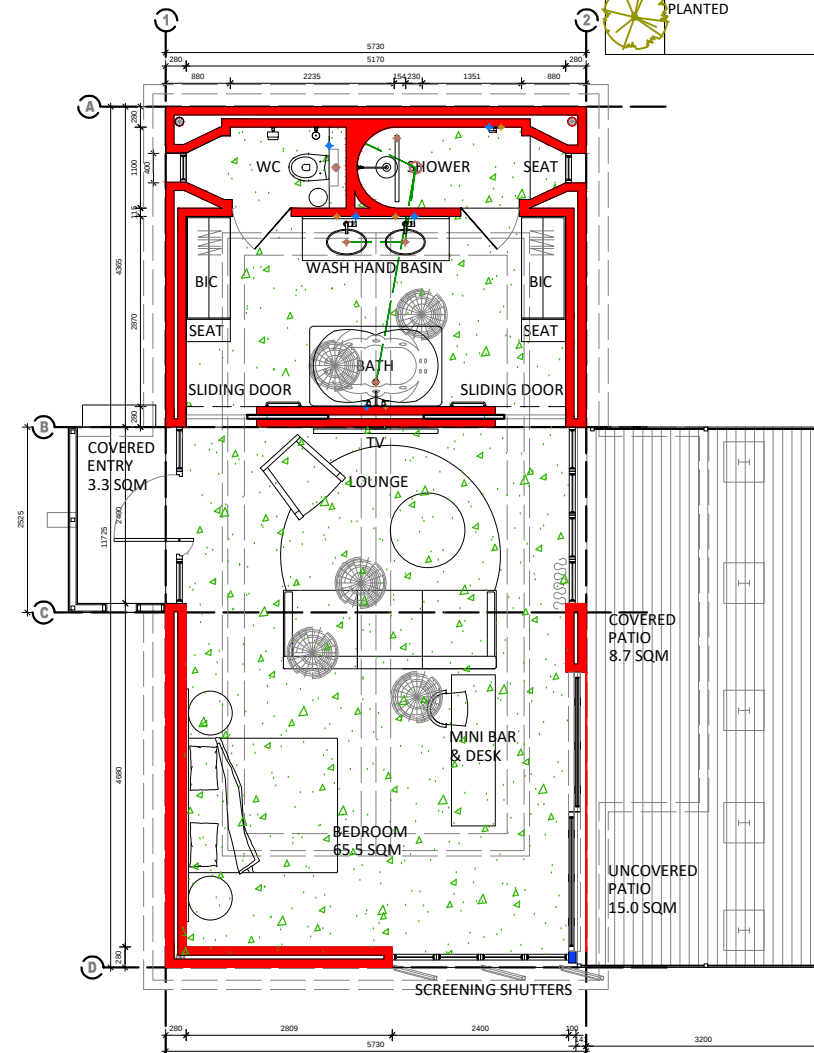
- NEW PAVING PATH WAY 1000M  
WIDTH WITH RAMPS / STAIRS  
31.6 SQM
- NEW TERRAFORCE RETAINING  
WALLS WITH VEGETATION  
PLANTED
- NEW INDIGENOUS TREES TO BE  
PLANTED

#### BUILD KEY

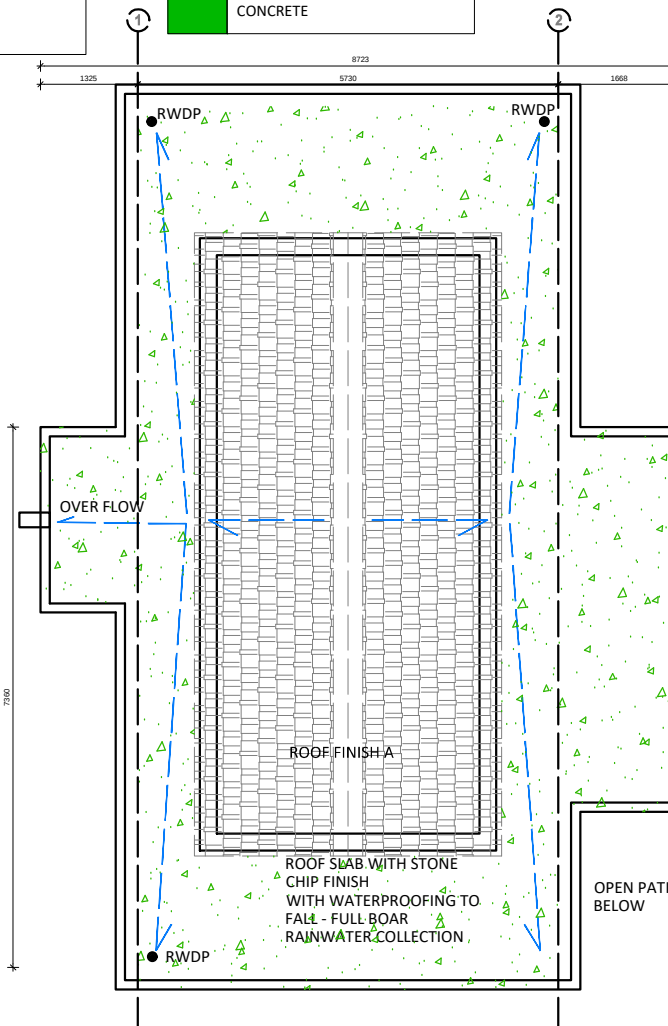
- NEW BRICKWORK, FULL HEIGHT
- ROOF TILES
- TIMBER
- CONCRETE



foundation & post plan scale 1:100



floor slab plan scale 1:100



roof plan scale 1:50

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MR M Conyers  
ERF 3116  
6 CUTHBERT Street  
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Western Cape

DRAWING NAME FOUNDATION, FLOOR LAYOUT & ROOF PLAN, SECTION - UNIT 2

DWG. NO 3116 - 6 - GA - 1005

SCALE 1:200 1:100 at A3

DATE 2025.06.25

REV A B BUTLER

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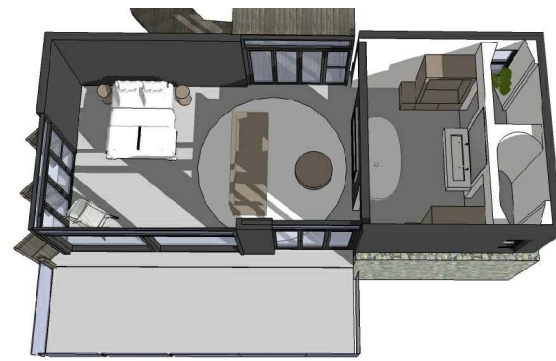
ISSUE FOR COUNCIL



SOUTH EAST ELEVATION: UNIT 1 - 3D VIEW



NORTH ELEVATION: UNIT 2 - 3D VIEW



UNIT 2 - BIRDS EYE VIEW



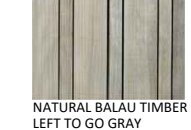
A  
MARLEY ROOF FLAT TILES  
GRAY & MARLEY SOLAR  
TILES GRAY



B  
ALUMINUM WINDOW &  
DOOR FRAMES  
BRONZE



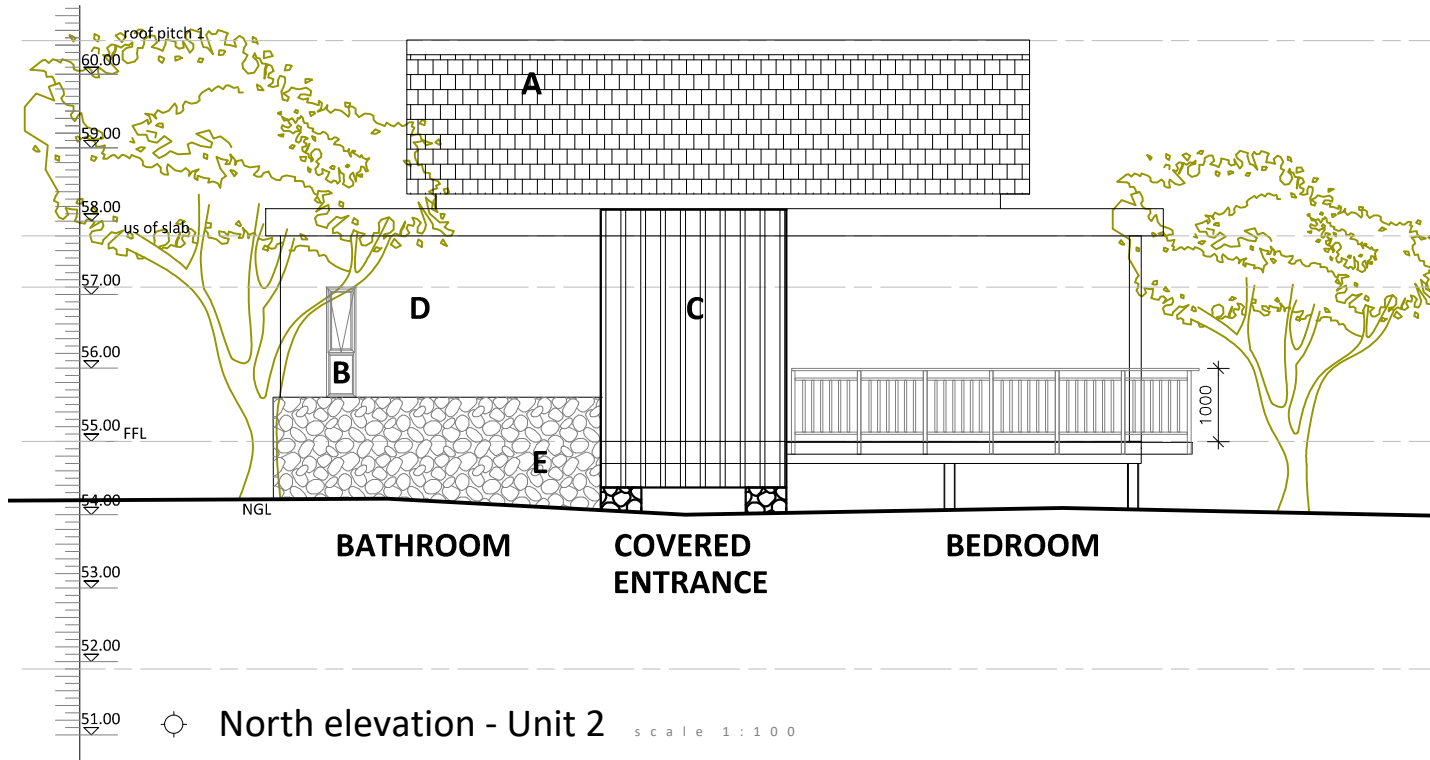
C  
NATURAL BALAU TIMBER  
LEFT TO GO GRAY



D  
SMOOTH PLASTER PAINTED  
FIRE AND EARTH RANGE  
CYCLONE

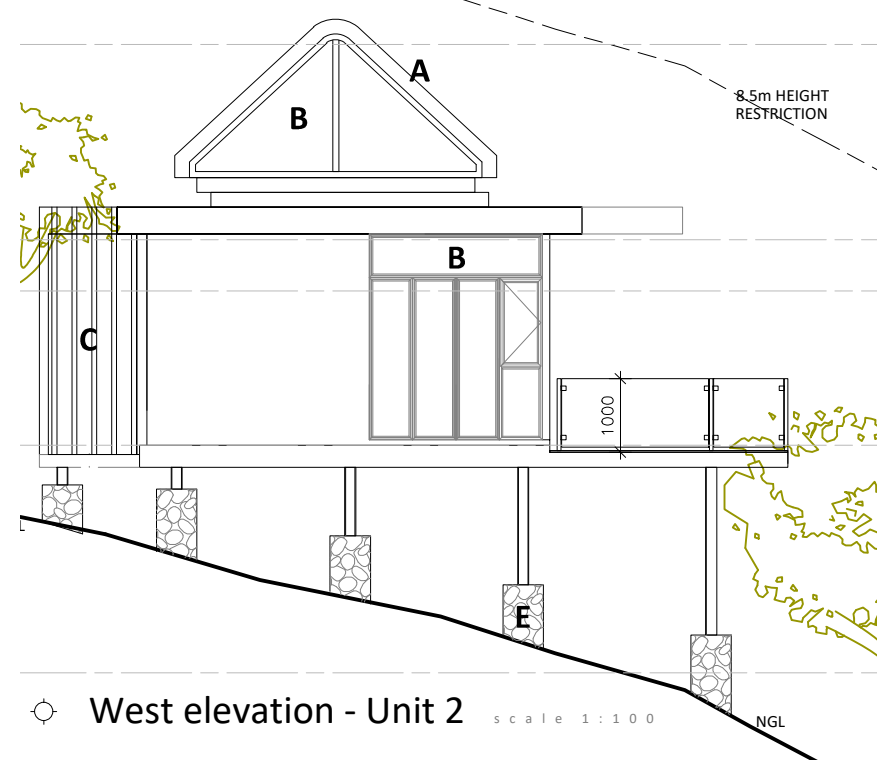


E  
STONE WORK GRAY  
IRREGULAR LAYOUT  
WITH GRAY CONCRETE  
JOINTS RACKED



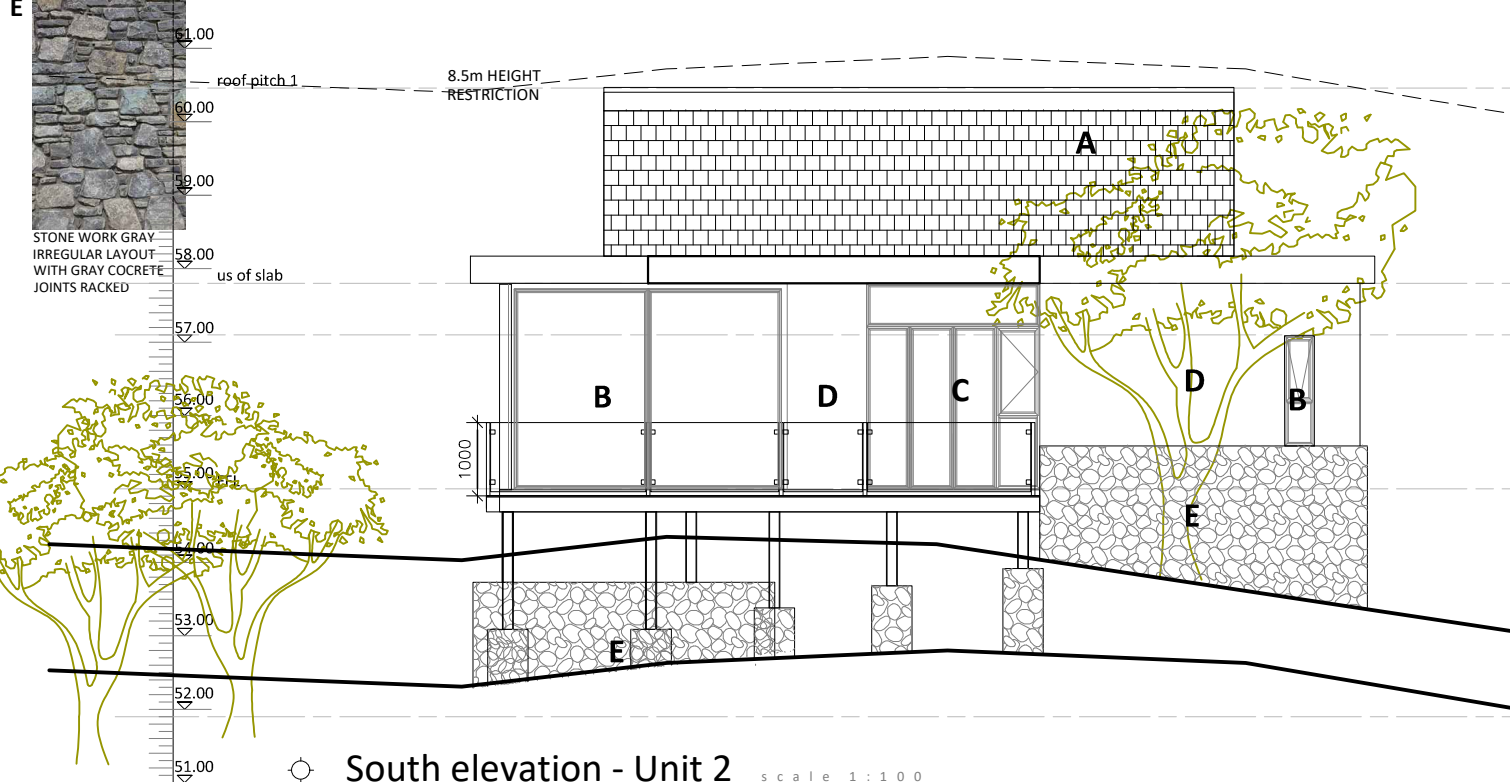
North elevation - Unit 2

scale 1:100



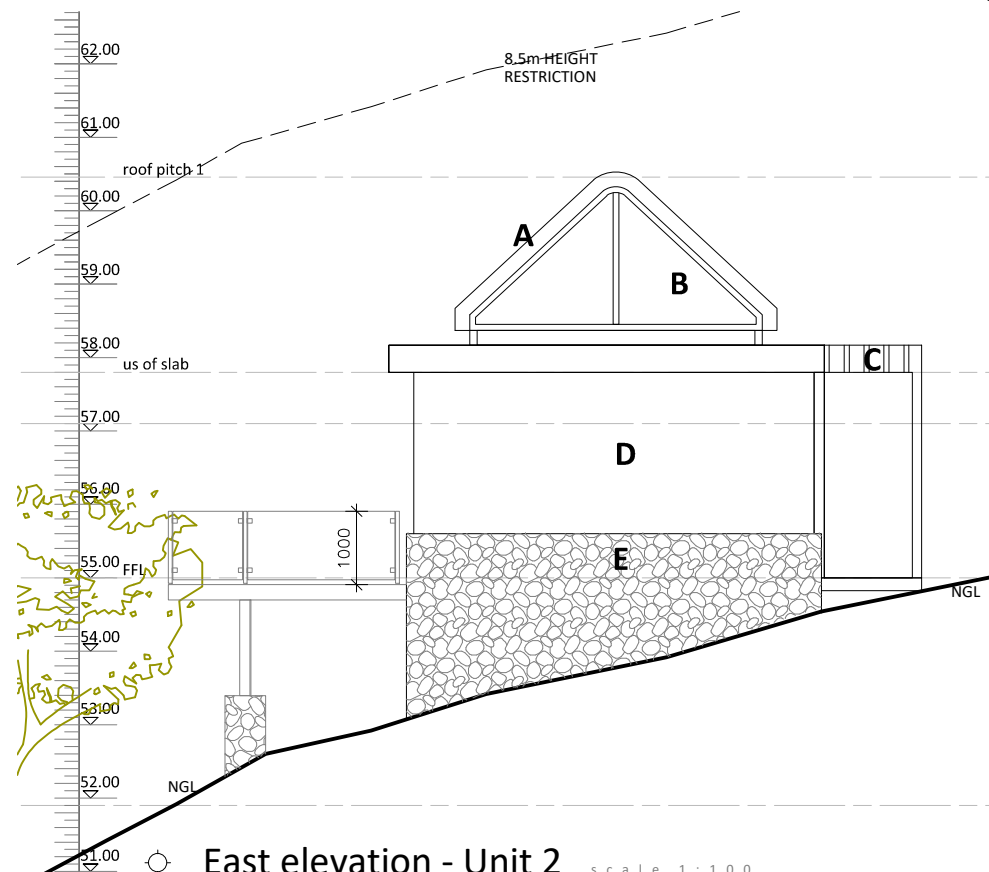
West elevation - Unit 2

scale 1:100



South elevation - Unit 2

scale 1:100



East elevation - Unit 2

scale 1:100

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KANONKOP, Knysna  
Western Cape

| DRAWING NAME | UNIT 2 ELEVATIONS    |          |
|--------------|----------------------|----------|
| DWG. NO      | 3116 - 6 - GA - 1006 |          |
| SCALE        | 1:200 1:100          | at A3    |
| DATE         | 2025.06.25           |          |
| REV          | A                    | B BUTLER |

BMJ

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